

PROPOSED ABERDEENSHIRE LOCAL DEVELOPMENT PLAN 2020 RESPONSE FORM

As part of the production of the Local Development Plan, a 'Main Issues Report' was published in January 2019. The responses from these consultations have helped to inform the content of the Proposed Local Development Plan ("the Proposed Plan").

The Aberdeenshire Local Development Plan will direct decision-making on land-use planning issues and planning applications in Aberdeenshire for the 10-year period from 2021 to 2031. The Proposed Plan was agreed by Aberdeenshire Council in March 2020 as the settled view of the Council. However, the Proposed Plan will be subjected to an independent examination and is now open for public comment.

This is your opportunity to tell us if anything should be changed in the Proposed Plan, and why.

When writing a response to the Proposed Plan it is important to specifically state the modification(s) that you would wish to see to the Plan.

This is the only remaining opportunity to comment on the Proposed Plan. The reasons for any requested changes will be analysed and reported to Scottish Ministers. They will then appoint a person known as a Reporter to conduct a public examination of the Proposed Plan, focusing particularly on any unresolved issues and the changes sought.

Ministers expect representations (or responses) to be concise (no more than 2000 words) and accompanied by limited supporting documents. It is important to ensure that all of the information that you wish to be considered is submitted during this consultation period as there is no further opportunity to provide information, unless specifically asked.

Please email comments to ldp@aberdeenshire.gov.uk or send this form to reach us by 31 July 2020*.

We recommend that you keep a copy of your representation for your own records.

**UPDATE 16 June 2020: Consultation period was extended from 17 July 2020 for a further two-week period.*



ACCESSIBILITY

If you need information from this document in an alternative language or in a Large Print, Easy Read, Braille or BSL, please telephone 01467 536230.

Jeigu pageidaujate šio dokumento kita kalba arba atspausdinto stambiu šriftu, supaprastinta kalba, parašyta Brailio raštu arba britų gestų kalba, prašome skambinti 01467 536230.

Dacă aveți nevoie de informații din acest document într-o altă limbă sau într-un format cu scrisul mare, ușor de citit, tipar pentru nevăzători sau în limbajul semnelor, vă rugăm să telefonați la 01467 536230.

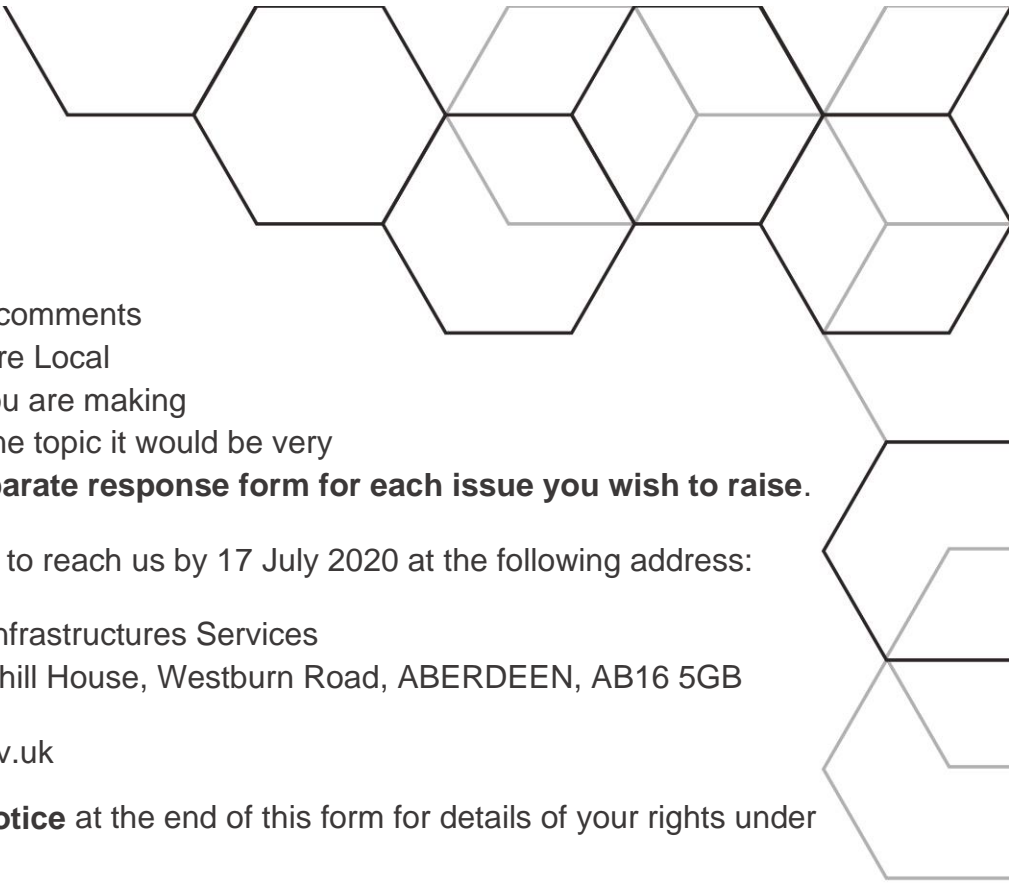
Jeśli potrzebowali będą Państwo informacji z niniejszego dokumentu w innym języku, pisanych dużą czcionką, w wersji łatwej do czytania, w alfabecie Braille'a lub w brytyjskim języku migowym, proszę o telefoniczny kontakt na numer 01467 536230.

Ja jums nepieciešama šai dokumentā sniegtā informācija kādā citā valodā vai lielā drukā, viegli lasāmā tekstā, Braila rakstā vai BSL (britu zīmju valodā), lūdzu, zvaniet uz 01467 536230.

Aberdeenshire Local Development Plan
Woodhill House, Westburn Road, Aberdeen, AB16 5GB

Tel: 01467 536230
Email: ldp@aberdeenshire.gov.uk
Web: www.aberdeenshire.gov.uk/ldp
Follow us on Twitter @ShireLDP

If you wish to contact one of the area planning offices, please call 01467 534333 and ask for the relevant planning office or email planning@aberdeenshire.gov.uk.



Please use this form to make comments on the Proposed Aberdeenshire Local Development Plan 2020. If you are making comments about more than one topic it would be very helpful if you could fill in **a separate response form for each issue you wish to raise**.

Please email or send the form to reach us by 31 July 2020 at the following address:

Post: Planning Policy Team, Infrastructures Services
Aberdeenshire Council, Woodhill House, Westburn Road, ABERDEEN, AB16 5GB

Email: ldp@aberdeenshire.gov.uk

Please refer to our **Privacy Notice** at the end of this form for details of your rights under the Data Protection Act.

YOUR DETAILS

Title:	Miss
First Name:	Abigail
Surname:	Brown
Date:	
Postal Address:	Wardell Armstrong LLP, [REDACTED] [REDACTED]
Postcode:	[REDACTED]
Telephone Number:	[REDACTED]
Email:	[REDACTED]

Are you happy to receive future correspondence only by email? Yes ☒ No ☐

Are you responding on behalf of another person? Yes ☒ No ☐

If yes who are you representing?

☒ Tick the box if you would like to subscribe to the Aberdeenshire LDP eNewsletter:

An acknowledgement will be sent to this address soon after the close of consultation.

YOUR COMMENTS

Please provide us with your comments below. We will summarise comments and in our analysis will consider every point that is made. Once we have done this we will write back to you with Aberdeenshire Council's views on the submissions made. We will publish your name as the author of the comment, but will not make your address public.

Modification that you wish to see (please make specific reference to the section of the Proposed Plan you wish to see modified if possible, for example Section 9, paragraph E1.1):

Appendix 7F Settlement Statements Marr, p863-866 – inclusion of sites MR034 (Phase 1, Land South of Beltie Road) and MR035 (Phase 2, and South of Beltie Road) in line with Officer's recommendation at MIR and Issues and Action Paper stages of the preparation of the LDP2 to meet demand for future housing in the settlement of Torphins.

Reason for change:

Wardell Armstrong LLP, on behalf of our client AJC Homes Scotland Ltd, prepared 3 separate bids for inclusion of their site at Land South of Beltie Road within the forthcoming second Local Development Plan.

Phases 1 and 2 were subsequently chosen as Aberdeenshire Council Officer's preferred sites for the future expansion of Torphins. The reasons for this are outlined below. Wardell Armstrong then submitted a representation in support for the allocation of sites MR034 and MR035 within the settlement of Torphins as identified within the Main Issues Report (MIR) (2019) and Draft Proposed Aberdeenshire Local Development Plan (LDP) (2019).

Further details of the two bids are as follows –

- OP2 (Bid MR034 Phase 1, Land South of Beltie Road) is allocated for 29 residential units.
- OP3 (Bid MR035 Phase 2, Land South of Beltie Road) is allocated for 21 residential units.

It is our view that these sites represent the most suitable and deliverable growth solution for the settlement, meeting demand for housing within the Marr area. As discussed within the initial site bids prepared on behalf of our client, it is considered that the proposed sites (Phases 1 and 2) are deliverable for a number of reasons. In brief –

- The site has no significant constraints;
- The site is solely owned by [REDACTED] and is under option by AJC Homes Scotland Ltd, has no ransom issues and suitable access via the existing road network is possible;
- AJC Homes have a track record of developing high quality homes in rural Aberdeenshire which contribute positively to local settlements;
- There are no capacity issues which could hinder development, i.e. education, water infrastructure, road network;
- The scale of development proposed is appropriate for Torphins in terms of there being a realistic build rate; and
- The site is centrally located within Torphins, effectively forming the 'missing' south west corner of the settlement, close to all local facilities including the hall, school and other local amenities.

As discussed above, within the Main Issues Report (2019), the allocation of MR034 (Phase 1, Land South of Beltie Road) and MR035 (Phase 2, Land South of Beltie Road) were identified as the Officer's preference for allocation within the second LDP for the below reasons –

Phase 1

- The scale and location of the proposed site fits well with the existing pattern of the village and enhances the linear character of the settlement;
- The proposed layout shows insight into the opportunities provided by the site within the wider context of the village and addresses many of the desirable planning outcomes; and
- The development has no constraints other than potential capacity issues at Aboyne Academy.

Phase 2

- The scale and location of the proposed site fits well with the proposed first phase;
- The site continues to promote the existing pattern of the village and enhances the linear character of the settlement down towards the Beltie Burn itself;
- The public open space proposed would be a significant and positive enhancement for the village and assist in minimising potential impact on the River Dee SAC; and
- As with Phase 1, capacity at Aboyne Academy may be an issue however is certainly resolvable.

Within the Issues and Actions paper for Marr prepared by the Council Officer's, the following commentary was included with regard to sites MR034 and MR035 –

'The comments received both in support and against this bid site are acknowledged. It is maintained that this site would be a natural location for future growth of the settlement, outwith the Dee Valley SLA. Careful landscaping, layout and design such that development is setback from the road with a potential 'green wedge' of landscaping, may offset some of the concerns in relation to the impact on the setting of the settlement and reduce the visual impact of existing ribbon development to the north of Beltie Road. The site has the potential to create a civic space that will make a more formalised centre point for the benefit of the settlement as a whole. In consideration of comments regarding the lack of need, it is agreed that existing site OP1 (MR060) may provide a sufficient level of housing for the settlement and should remain the focus for development but the allocation of the MR034 and MR035 sites provide a range of sites and important choice within the settlement. It is recommended that this bid site is taken forward as an allocation at this point in time, but with significant restrictions on the need for strategic open space provision to assist both biodiversity and sense of place.'

As considered by the Officers, the site has been carefully designed by an architect with landscape architect input to ensure the best possible site design was achieved, and any potential landscape impacts minimised where possible. Enhancement opportunities have also been identified. As also considered by the Officer, inclusion of this site provides important housing choice within the settlement.

At committee stage, the MR034 and MR035 were not taken forward as allocations which was extremely disappointing following the officer's favourable comments and support for the allocation.

The proposed plan which has subsequently been taken forward includes just one allocation in Torphins. Given the scale of the settlement, it is considered this is not sufficient to meet local demand or provide the opportunity for choice, and as such we ask that MR034 and MR035 are included within the Local Development Plan. The site's central location, effectively forming the 'missing' south west quarter of the settlement, in close proximity to local facilities such the school and shops, provides the next logical location for expansion of Torphins.

The site is deliverable and would provide future residents with a high quality environment in which to live.

For information we append the original bid documents for sites MR034 and MR035, as well as the village analysis undertaken by the architect and submitted to support the original bid.

PRIVACY NOTICE



LOCAL DEVELOPMENT PLAN PUBLIC COMMENT

The Data Controller of the information being collected is
Aberdeenshire Council.

The Data Protection Officer can be contacted at Town
House, 34 Low Street, Banff, AB45 1AY.

Email: dataprotection@aberdeenshire.gov.uk

Your information is being collected to use for the following
purposes:

- To provide public comment on the Aberdeenshire Local
Development Plan. The data on the form will be used to
inform Scottish Ministers and individual(s) appointed to
examine the Proposed Local Development Plan 2020. It
will inform the content of the Aberdeenshire Local
Development Plan 2021.

Your information is:

Being collected by Aberdeenshire Council	X
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The Legal Basis for collecting the information is:

Personal Data	
Legal Obligations	X

Where the Legal Basis for processing is either
Performance of a Contract or Legal Obligation, please note
the following consequences of failure to provide the
information:

It is a Statutory Obligation under Section 18 of the Town
and Country (Scotland) Act 1997, as amended, for
Aberdeenshire Council to prepare and publish a Proposed
Local Development plan on which representations must be
made to the planning authority within a prescribed period
of time. Failure to provide details requested in the 'Your
Details' section of this form will result in Aberdeenshire
Council being unable to accept your representation.

Your information will be shared with the following recipients
or categories of recipient:

Members of the public are being given this final
opportunity to comment on the Proposed Aberdeenshire
Local Development Plan. The reasons for any changes
that the Council receives will be analysed and reported to
Scottish Ministers. They will then appoint a person to
conduct a public examination of the Proposed Plan,
focusing particularly on the unresolved issues raised and
the changes sought.

Your name and respondent identification number (provided
to you by Aberdeenshire Council on receipt of your

submission) will be published alongside a copy of your
completed response on the Proposed Local Development
Plan website (contact details and information that is
deemed commercially sensitive will not be made available
to the public).

In accordance with Regulation 22 of the Town and Country
(Development Planning) (Scotland) Regulations 2008
where the appointed person determines that further
representations should be made or further information
should be provided by any person in connection with the
examination of the Proposed Plan the appointed person
may by notice request that person to make such further
representations or to provide such further information.

Your information will be transferred to or stored in the
following countries and the following safeguards are in
place:

Not applicable.

The retention period for the data is:

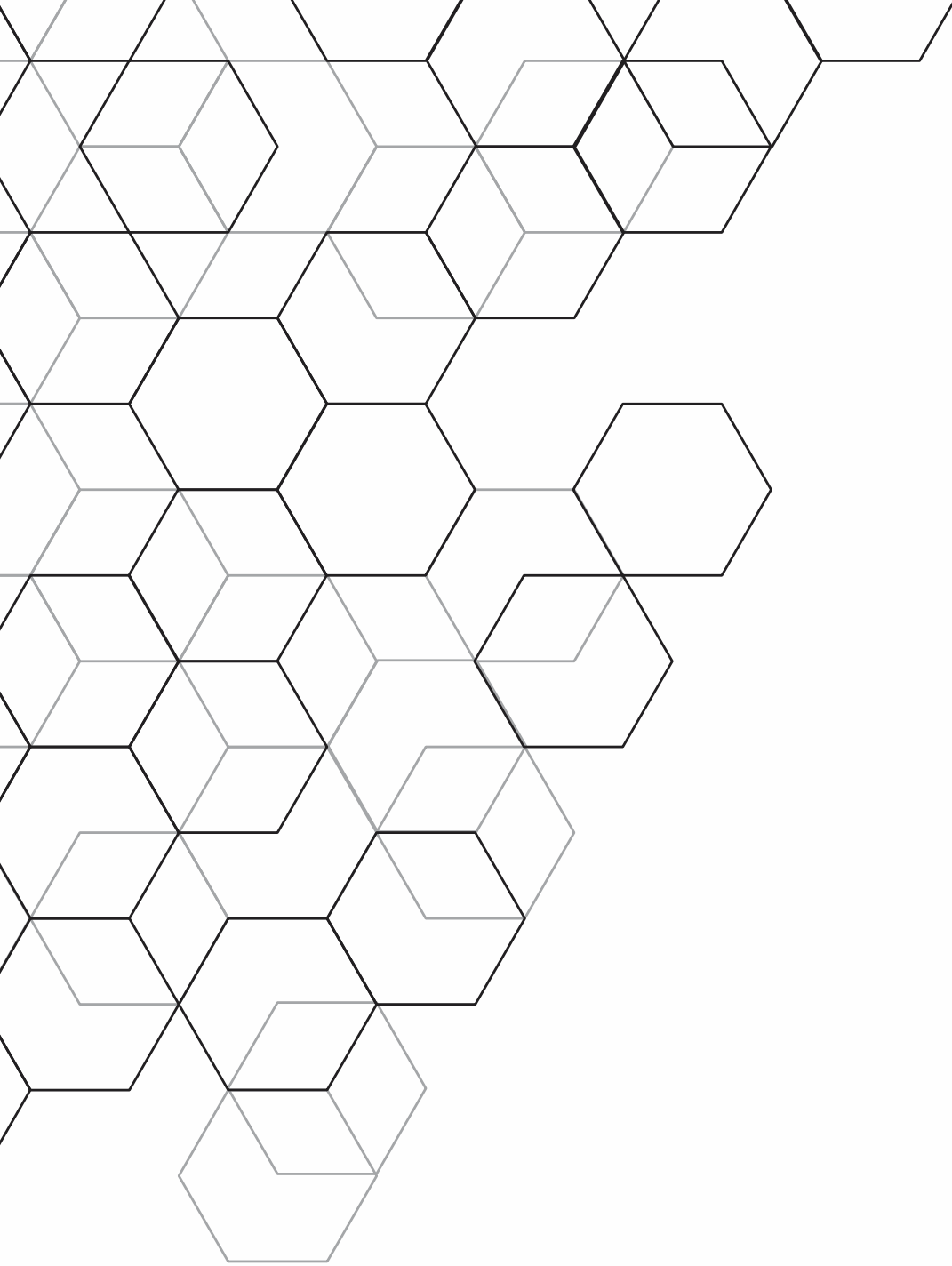
Aberdeenshire Council will only keep your personal
data for as long as is needed. Aberdeenshire Council
will retain your response and personal data for a retention
period of 5 years from the date upon which it was
collected. After 5 years Aberdeenshire Council will review
whether it is necessary to continue to retain your
information for a longer period. A redacted copy of your
submission will be retained for 5 years beyond the life of
the Local Development Plan 2021, possibly until 2037.

The following automated decision-making, including
profiling, will be undertaken:

Not applicable.

Please note that you have the following rights:

- to withdraw consent at any time, where the Legal Basis
specified above is Consent;
- to lodge a complaint with the Information
Commissioner's Office (after raising the issue with the
Data Protection Officer first);
- to request access to your personal data;
- to data portability, where the legal basis specified above
is:
 - (i) Consent; or
 - (ii) Performance of a Contract;
- to request rectification or erasure of your personal data,
as so far as the legislation permits.





Planning Policy
Infrastructure Services
Aberdeenshire Council
Woodhill House
Westburn Road
Aberdeen
AB10 5GB

29th March 2018

Dear [REDACTED]

ABERDEENSHIRE LOCAL DEVELOPMENT PLAN (LDP) 2021 – LAND TO SOUTH / WEST OF TORPHINS PHASE 1

Please find enclosed our completed bid form, location plan and supporting information in relation to Phase 1 of our 'Land to the South / West of Torphins' LDP bid, submitted on behalf of AJC Homes and [REDACTED].

We trust that the information within this bid is clear, however if you have any questions or require any further information please do not hesitate to contact us.

Yours sincerely
for Wardell Armstrong LLP



Senior Planner



Local Development Plan 2021

Call for Sites Response Form



Aberdeenshire Council would like to invite you to use this form to submit a site for consideration within the next Local Development Plan (LDP 2021) for the period 2021 to 2031. A separate form should be completed for each site you wish to submit.

This is not a speculative plan. It is a fresh 'call for sites', so please re-submit any sites that do not or are not expected to have planning permission by 2021.

In order for the bids to be fully assessed, it is crucial that the questions in the bid form are answered fully and concisely with clear evidence of deliverability. The submission of a supporting statement, often known as a paper apart, should be avoided, and only assessments, such as a Flood Risk Assessment that has already been undertaken, should be submitted in support of your proposed site.

Completed forms and Ordnance Survey "Landline" site maps should be returned by email to: ldp@aberdeenshire.gov.uk

Alternatively, you can return the form and Ordnance Survey map by post to:
Planning Policy, Infrastructure Services, Woodhill House, Westburn Road, Aberdeen AB16 5GB

All forms must be submitted by 31 March 2018.

1. Your Details

Name	[REDACTED]
Organisation (if applicable)	Wardell Armstrong LLP
Address	[REDACTED]
Telephone number	[REDACTED]
Email address	[REDACTED]
Do you wish to subscribe to our newsletter?	Yes

2. If you are acting as an agent on behalf of a third party, please give their details

Name	[REDACTED]
Organisation (if applicable)	AJC Homes
Address	[REDACTED]
Telephone number	[REDACTED]
Email address	[REDACTED]

3. Other Owners

Please give name, organisation, address, email details of other owner(s) where appropriate:	[REDACTED]
Do these owners know this is being proposed for development?	Yes

For data protection purposes, please complete the rest of this form on a new page

4. Site Details

Name of the site (Please use the LDP name if the site is already allocated)	Land to the South / West of Torphins (Phase I)
Site address	Land South of Beltie Road, Torphins, Aberdeenshire
OS grid reference (if available)	
Site area/size	3.8 hectares
Current land use	Agricultural
Brownfield/greenfield	Greenfield
Please include an Ordnance Survey map (1:1250 or 1:2500 base for larger sites, e.g. over 2ha) showing the location and extent of the site, points of access, means of drainage etc.	

5. Ownership/Market Interest

Ownership (Please list the owners in question 3 above)	Sole owner – [REDACTED] Option to purchase – AJC Homes
Is the site under option to a developer?	Yes AJC Homes
Is the site being marketed?	No N/A

6. Legal Issues

Are there any legal provisions in the title deeds that may prevent or restrict development? (e.g. way leave for utility providers, restriction on use of land, right of way etc.)	No
	N/A
Are there any other legal factors that might prevent or restrict development? (e.g. ransom strips/issues with accessing the site etc.)	No
	N/A

7. Planning History

Have you had any formal/informal pre-application discussions with the Planning Service and what was the response?	Yes
	Informal discussion with Aberdeenshire Council Planning Policy Team in relation to potential acceptable scale of development.
Previous planning applications	No
Previous 'Call for sites' history. See Main Issues Report 2013 at www.aberdeenshire.gov.uk/ldp	Please provide Previous 'Call for sites'/'Bid' reference number: MA056
Local Development Plan status www.aberdeenshire.gov.uk/ldp	Is the site currently allocated for any specific use in the existing LDP? No
	If yes, do you wish to change the site description and or allocation? N/A

8. Proposed Use

Proposed use	Housing/employment/mixed use/other (please specify): Residential
Housing	Approx. no of units
	29

	Proposed mix of house types	Number of: <ul style="list-style-type: none"> Detached: 17 (3 of which are detached single storey 'cottages') Semi-detached: 12 (2 of which are semi-detached single storey 'cottages') Flats: 0 Terrace: 0 Other (e.g. Bungalows):
		Number of: <ul style="list-style-type: none"> 1 bedroom homes: 0 2 bedroom homes: 2 3 bedroom homes: 13 4 or more bedroom homes: 14 (all 4 bed)
	Tenure (Delete as appropriate)	Private/Rented/Self-Build/Supported houses (e.g. for elderly)/Other (please specify): Private w/ 25% affordable housing tenure TBC with Aberdeenshire Council
	Affordable housing proportion	25% (8 units)
Employment	Business and offices	Indicative floor space: 0m ²
	General industrial	Indicative floor space: 0m ²
	Storage and distribution	Indicative floor space: 0m ²
	Do you have a specific occupier for the site?	N/A
Other	Proposed use (please specify) and floor space	An area of the site has been set aside for potential further car parking spaces adjacent to Learney Hall and the site reserved for future expansion of the community hall.
	Do you have a specific occupier for the site?	N/A
Is the area of each proposed use noted in the OS site plan?		Yes

9. Delivery Timescales

We expect to adopt the new LDP in 2021. How many years after this date would you expect development to begin? (please tick)	0-5 years	✓
	6-10 years	
	10+ years	
When would you expect the development to be finished? (please tick)	0-5 years	✓
	6-10 years	
	+ 10years	
Have discussions taken place with financiers? Will funding be in place to cover all the costs of development within these timescales?	Yes	
	Combination of cash and bank funding	
Are there any other risk or threats (other than finance) to you delivering your proposed development	No	
	N/A	

10. Natural Heritage

<p>Is the site located in or within 500m of a nature conservation site, or affect a protected species?</p> <p>Please tick any that apply and provide details.</p> <p>You can find details of these designations at:</p> <ul style="list-style-type: none"> • https://www.environment.gov.scot/ • EU priority habitats at http://gateway.snh.gov.uk/sitelink/index.jsp • UK or Local priority habitats at http://www.biodiversityscotland.gov.uk/advice-and-resources/habitat-definitions/priority/ • Local Nature Conservation Sites in the LDP's Supplementary Guidance No. 5 at www.aberdeenshire.gov.uk/ldp 	RAMSAR Site	No
	Special Area of Conservation	Yes, River Dee SAC – the Beltie Burn is located immediately to the south of the site and is a tributary of the River Dee.
	Special Protection Area	No
	Priority habitat (Annex I)	No
	European Protected Species	No
	Other protected species	No
	Site of Special Scientific Interest	No
	National Nature Reserve	No
	Ancient Woodland	No
	Trees, hedgerows and woodland (including trees with a Tree Preservation Order)	No
	Priority habitat (UK or Local Biodiversity Action Plan)	Yes – see above reference to River Dee SAC
	Local Nature Conservation Site	No
	Local Nature Reserve	No
	<p>If yes, please give details of how you plan to mitigate the impact of the proposed development:</p> <p>It is proposed to leave a suitable buffer between the proposed built development and the Beltie Burn to protect the qualifying interests of the River Dee SAC.</p>	

	Instead this area will form an area of Green Network providing the opportunity to enhance the existing wildlife corridor along the Beltie Burn, as well as providing a high quality open space area for the local community to utilise.	
Biodiversity enhancement		
<p>Please state what benefits for biodiversity this proposal will bring (as per paragraph 194 in Scottish Planning Policy), http://www.gov.scot/Resource/0045/00453827.pdf) by ticking all that apply. Please provide details.</p> <p>See Planning Advice 5/2015 on Opportunities for biodiversity enhancement at: www.aberdeenshire.gov.uk/media/19598/2015_05-opportunities-for-biodiversity-enhancement-in-new-development.pdf</p> <p>Advice is also available from Scottish Natural Heritage at: https://www.snh.scot/professional-advice/planning-and-development/natural-heritage-advice-planners-and-developers and http://www.nesbiodiversity.org.uk/.</p>	Restoration of habitats	Site currently has low habitat value being agricultural land with no woodland or hedgerows.
	Habitat creation in public open space	A number of landscape/ open space areas will be created providing the opportunity to introduce native species planting, including trees, and the enhancement of the existing green network close to Beltie Burn.
	Avoids fragmentation or isolation of habitats	No habitats of high ecological value currently on site have been identified on site. The creation of new green/ open space areas will provide the opportunity to introduce new habitats/ native species to site.
	Provides bird/bat/insect boxes/Swift bricks (internal or external)	Yes, we will consult with our project ecologist to identify the most suitable locations.
	Native tree planting	Native tree planting is proposed. See Concept Landscape Arrangement for more detail.
	Drystone wall	Drystone walls along field boundaries will be retained where possible. Where they are required to be moved, the material will be reused elsewhere on site.
	Living roofs	The feasibility of living roofs will be considered at detailed design stage, and where possible incorporated.
	Ponds and soakaways	The proposal will incorporate SUDS providing an opportunity to create green/ blue network.
	Habitat walls/fences	As detailed above, existing drystone walls will be retained

		where possible. If not, the material will be reused on site.
	Wildflowers in verges	Yes, to enhance biodiversity and fit in with rural character of area.
	Use of nectar rich plant species	Nectar rich plant species will be included within the landscape design.
	Buffer strips along watercourses	An appropriate buffer will be retained from the Beltie Burn. It is proposed to create open space along the southern edge of the site closest to the burn.
	Show home demonstration area	Yes
	Other (please state):	
	Please provide details:	

11. Historic environment

Historic environment enhancement		
Please state if there will be benefits for the historic environment.	Yes	
	The proposed housing is of a high quality, rural design, appropriate for the village setting of Torphins and complementary to existing housing in the settlement. When designing the housing, consideration has been given to the local vernacular including building height and materials.	
Does the site contain/is within/can affect any of the following historic environment assets? Please tick any that apply and provide details. You can find details of these designations at: <ul style="list-style-type: none"> http://historicscotland.maps.arcgis.com/apps/Viewer/index.html?appid=18d2608ac1284066ba3927312710d16d http://portal.historicenvironment.scot/ https://online.aberdeenshire.gov.uk/smrpub/master/default.aspx?Authority=Aberdeenshire 	Scheduled Monument or their setting	No
	Locally important archaeological site held on the Sites and Monuments Record	No
	Listed Building and/or their setting	No
	Conservation Area (e.g. will it result in the demolition of any buildings)	No
	Inventory Gardens and Designed Landscapes	No
	Inventory Historic Battlefields	No
	If yes, please give details of how you plan to mitigate the impact of the proposed development	

12. Landscape Impact

<p>Is the site within a Special Landscape Area (SLA)? (You can find details in Supplementary Guidance 9 at www.aberdeenshire.gov.uk/ldp)</p>	<p>No</p> <p>If yes, please state which SLA your site is located within and provide details of how you plan to mitigate the impact of the proposed development:</p>
<p>SLAs include the consideration of landscape character elements/features. The characteristics of landscapes are defined in the Landscape Character Assessments produced by Scottish Natural Heritage (see below) or have been identified as Special Landscape Areas of local importance.</p> <ul style="list-style-type: none"> • SNH: Landscape Character Assessments https://www.snh.scot/professional-advice/landscape-change/landscape-character-assessment • SNH (1996) Cairngorms landscape assessment http://www.snh.org.uk/pdfs/publications/review/075.pdf • SNH (1997) National programme of landscape character assessment: Banff and Buchan http://www.snh.org.uk/pdfs/publications/review/037.pdf • SNH (1998) South and Central Aberdeenshire landscape character assessment http://www.snh.org.uk/pdfs/publications/review/102.pdf 	<p>If your site is not within an SLA, please use this space to describe the effects of the site's scale, location or design on key natural landscape elements/features, historic features or the composition or quality of the landscape character:</p> <p>Torphins is located within the Cromar Uplands Landscape Character Area of the South and Central Aberdeenshire LCA. The key <i>Specific Guidance</i> objectives are:</p> <ul style="list-style-type: none"> • <i>To retain the high diversity of textures and landscape features</i> • <i>To maintain the traditional settlement pattern and rural character</i> <p>The proposed development will be of a high quality design appropriate for the rural village setting of Torphins. Phasing of the proposed development would enable the village to grow in an organic way in line with the historic settlement patterns of Torphins.</p> <p>The existing village is bound with a soft wooded edge to the north, east and south providing an appropriate transition from urban to rural landscape. The western boundary of Torphins, which would provide the eastern boundary of the proposed allocation site, is predominantly hard. It is proposed through phased development to gradually soften this edge through internal structure tree planting, graded development density and a wooded development edge to the west of Phase 3. This would ultimately prove beneficial to the character of the western extents of the village.</p> <p>During the interim phases of development a soft boundary would be maintained through strategic siting of parkland and wooded avenues. This would provide visual screening and reduce impact to the character of the surrounding landscape of Torphins. As phases progress these green edges</p>

	<p>would be incorporated into the development to provide a strong green infrastructure.</p> <p>The character of the proposed landscape is diverse with formal elements closer to the historic centre of Torphins and informal naturalised elements closer to the Beltie Burn and outer boundary of the site. This would provide a range of landscape textures in keeping with the wider landscape character of Torphins.</p> <p>A development buffer is proposed to the Beltie Burn and River Dee Special Area of Conservation that bounds the site to the south-west. This buffer would retain and protect the landscape and ecological value of the Beltie Burn. The design would provide an informal path network to the peripheries of the buffer to ensure that the community of Torphins can enjoy this special landscape for generations to come. This would connect into the existing network of green infrastructure and public paths of Torphins and to key nodes within the development in line with the aims and objectives of local groups such as the Torphins Paths Group. This would foster integration of the new community with the existing.</p> <p>As discussed above, drystone dykes will be retained, and the material used, where appropriate, with the potential opportunity to create a village gateway feature at the north western corner of the site.</p> <p>In terms of scale of building design, all homes will be 1 – 2 storeys in height in keeping with existing urban grain of Torphins.</p>
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13. Flood Risk

<p>Is any part of the site identified as being at risk of river or surface water flooding within SEPA flood maps, and/or has any part of the site previously flooded?</p> <p>(You can view the SEPA flood maps at http://map.sepa.org.uk/floodmap/map.htm)</p>	<p>Yes</p> <p>If yes, please specify and explain how you intend to mitigate this risk:</p> <p>The southern edge of the site is at risk of river flooding as identified by SEPA's flood maps. The proposal will comprise detailed SUDs design which will adequately serve the development and prevent the risk of flooding. No built development is proposed in this area of the site. Instead, the land adjacent to the Beltie Burn will form an open space area.</p>
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Could development on the site result in additional flood risk elsewhere?	No
	If yes, please specify and explain how you intend to mitigate or avoid this risk:
Could development of the site help alleviate any existing flooding problems in the area?	Yes
	If yes, please provide details: Landscape planting (native trees) along the southern edge of the site may provide minor benefit.

14. Infrastructure

a. Water / Drainage		
Is there water/waste water capacity for the proposed development (based on Scottish Water asset capacity search tool http://www.scottishwater.co.uk/business/Connections/Connecting-your-property/Asset-Capacity-Search)?	Water	Yes – undergoing growth with planned investment within 2015 – 2021 period (Ref: Aberdeenshire Local Development Plan Action Programme 2017)
	Waste water	Yes – 65 units capacity available (Ref: Scottish Water Asset Capacity Search)
Has contact been made with Scottish Water?	No	
Will your SUDS scheme include rain gardens? http://www.centuralscotlandgreennetwork.org/campaigns/greener-gardens	Yes – the option of installing rain water harvesting will be explored. This would consist of installing underground tanks which accommodate initial rain fall which can be used to water gardens, wash cars etc.	
b. Education – housing proposals only		
Education capacity/constraints https://www.aberdeenshire.gov.uk/schools/parents-carers/school-info/school-roll-forecasts/	<p>Please provide details of any known education constraints. Is additional capacity needed to serve the development?</p> <p>No, the most recent school roll forecasts identify a declining school roll at Torphins Primary School. The current capacity (2017) is 85%, while capacity in 2022 is forecast to be 75%.</p> <p>The proposed development will provide the opportunity to support the declining school roll.</p>	
Has contact been made with the Local Authority's Education Department?	No	
c. Transport		
If direct access is required onto a Trunk Road (A90 and A96), or the proposal will impact on	No	

traffic on a Trunk Road, has contact been made with Transport Scotland?	
Has contact been made with the Local Authority's Transportation Service? They can be contacted at transportation.consultation@aberdeenshire.gov.uk	No
Public transport	<p>Please provide details of how the site is or could be served by public transport:</p> <p>The site is located within close proximity to existing bus stops. The closest being immediately to the north of the site on Beltie Road.</p>
Active travel (i.e. internal connectivity and links externally)	<p>Please provide details of how the site can or could be accessed by walking and cycling:</p> <p>The site is located adjacent to Torphins town centre</p>
d. Gas/Electricity/Heat/Broadband	
Has contact been made with the relevant utilities providers?	Gas: No There is no gas infrastructure in Torphins.
	Electricity: No No known constraints in local area.
	Heat: No No known constraints in local area.
	Broadband: No No known constraints in local area.
Have any feasibility studies been undertaken to understand and inform capacity issues?	No – no known constraints in local area.
Is there capacity within the existing network(s) and a viable connection to the network(s)?	In relation to gas, electricity, heat and broadband, assumed yes as no known constraints in local area.
Will renewable energy be installed and used on the site? For example, heat pump (air, ground or water), biomass, hydro, solar (photovoltaic (electricity) or thermal), or a wind turbine (freestanding/integrated into the building)	<p>Yes If yes, please specify the type of renewable energy technology(s), if it is to provide electricity and/or heating (i.e. space heating and/or hot water), and the scale of provision (To supplement off-site connection all the way to 100% energy provision (off-grid)):</p> <p>Some electricity will be generated by photovoltaic panels.</p>
e. Public open space	
Will the site provide the opportunity to enhance the green network? (These are	<p>Yes Please specify:</p>

<p>the linked areas of open space in settlements, which can be enhanced through amalgamating existing green networks or providing onsite green infrastructure)</p> <p>You can find the boundary of existing green networks in the settlement profiles in the LDP</p>	<p>It is proposed to create an open space area along the southern boundary of the site, providing the opportunity to enhance the existing green network adjacent to the Beltie Burn</p>
<p>Will the site meet the open space standards, as set out in Appendix 2 in the Aberdeenshire Parks and Open Spaces Strategy? https://www.aberdeenshire.gov.uk/media/6077/approvedpandospacesstrategy.pdf</p>	<p>Yes Please specify:</p> <p>Adequate open space provision is included within the proposal to meet the open space requirements of the Aberdeenshire Parks and Open Spaces Strategy.</p>
<p>Will the site deliver any of the shortfalls identified in the Open Space Audit for specific settlements? https://www.aberdeenshire.gov.uk/communities-and-events/parks-and-open-spaces/open-space-strategy-audit/</p>	<p>Yes/No/Not applicable Please specify:</p> <p>With regard to Torphins, the Open Space Audit concludes – ‘<i>Torphins has a good range of open space, and the high levels of natural/semi natural areas are reflective of a rural village of its size</i>’. The proposed open space and landscaping will provide an opportunity to further enhance the rural setting of the settlement and provide useable public space for existing and new residents to enjoy.</p> <p>It is proposed to connect with existing path networks within the village. The applicant would like to consult with the Torphins Path Group as there may be an opportunity to tie in with some of their aspirations for improving the local walking and cycling routes around Torphins.</p>
f. Resource use	
<p>Will the site re-use existing structure(s) or recycle or recover existing on-site materials/resources?</p>	<p>There are no existing structures on site, however as discussed above, existing drystone wall will be retained and/ or material reused on site to create new boundary/ gateway features.</p>
<p>Will the site have a direct impact on the water environment and result in the need for watercourse crossings, large scale abstraction and/or culverting of a watercourse?</p>	<p>No</p>

15. Other potential constraints

Please identify whether the site is affected by any of the following potential constraints:

Aberdeen Green Belt https://www.aberdeenshire.gov.uk/media/20555/appendix-3-boundaries-of-the-greenbelt.pdf	No
Carbon-rich soils and peatland http://www.snh.gov.uk/planning-and-development/advice-for-planners-and-developers/soils-and-development/cpp/	No
Coastal Zone https://www.aberdeenshire.gov.uk/media/20176/4-the-coastal-zone.pdf	No
Contaminated land	No
Ground instability	No
Hazardous site/HSE exclusion zone (You can find the boundary of these zones in Planning Advice 1/2017 Pipeline and Hazardous Development Consultation Zones at https://www.aberdeenshire.gov.uk/planning/plans-and-policies/planning-advice/ and advice at http://www.hse.gov.uk/landuseplanning/developers.htm)	No
Minerals – safeguarded or area of search https://www.aberdeenshire.gov.uk/ldpmedia/6_Area_of_search_and_safeguard_for_minerals.pdf	No
Overhead lines or underground cables	No
Physical access into the site due to topography or geography	No
Prime agricultural land (grades 1, 2 and 3.1) on all or part of the site. http://map.environment.gov.scot/Soil_maps/?layer=6	No
'Protected' open space in the LDP (i.e. P sites) www.aberdeenshire.gov.uk/ldp and choose from Appendix 8a to 8f	No
Rights of way/core paths/recreation uses	No
Topography (e.g. steep slopes)	No
Other	No
If you have identified any of the potential constraints above, please use this space to identify how you will mitigate this in order to achieve a viable development:	

16. Proximity to facilities

How close is the site to a range of facilities? *Delete as appropriate	Local shops	400m
	Community facilities (e.g. school, public hall)	400m (to primary school, nursery and village hall)
	Sports facilities (e.g. playing fields)	400m
	Employment areas	400m
	Residential areas	400m
	Bus stop or bus route	400m
	Train station	> 1 km
	Other, e.g. dentist, pub (please specify)	400m – to pub, pharmacy, café

17. Community engagement

Has the local community been given the opportunity to influence/partake in the design and specification of the development proposal?	Not yet
	If yes, please specify the way it was carried out and how it influenced your proposals:
	<p>If not yet, please detail how you will do so in the future:</p> <p>Prior to any planning application being submitted for the site, a community engagement event will be held. This will provide the opportunity to hear the thoughts of existing residents of Torphins and, where applicable, inform the final proposal.</p>

18. Residual value and deliverability

Please confirm that you have considered the 'residual value' of your site and you are confident that the site is viable when infrastructure and all other costs, such as constraints and mitigation are taken into account.	<p>I have considered the likely 'residual value' of the site, as described above, and fully expect the site to be viable:</p> <p>Please tick: <input checked="checked" type="checkbox"/></p>
<p>If you have any further information to help demonstrate the deliverability of your proposal, please provide details.</p> <p>It is considered that the proposed site is deliverable for a number of reasons. In brief –</p> <ul style="list-style-type: none">• The site has no significant constraints.• The site is solely owned by [REDACTED], has no ransom issues and suitable access via the existing road network is possible.• AJC Homes have a track record of developing high quality homes in rural Aberdeenshire.• There are no capacity issues which could hinder development, i.e. education, water infrastructure, road network.• The scale of development proposed is appropriate for Torphins in terms of there being a realistic build rate.	

19. Other information

<p>Please provide any other information that you would like us to consider in support of your proposed development (please include details of any up-to-date supporting studies that have been undertaken and attach copies e.g. Transport Appraisal, Flood Risk Assessment, Drainage Impact Assessment, Peat/Soil Survey, Habitat/Biodiversity Assessment etc.)</p> <p>Please find attached the following plans which provide further detail of our proposal –</p> <ul style="list-style-type: none">• Existing Site Plan• Concept Plan

- Illustrative Masterplan
- Street Elevations
- Perspective Views
- Townscape Analysis
- Concept Landscape Arrangement
- House Types – Morven
- House Types – Craiglich
- House Types Cublean
- House Types Foudland
- House Types – Argyll
- House Types – House Type N
- House Types – Cottage
- Village Analysis

Please tick to confirm your agreement to the following statement:

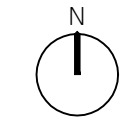
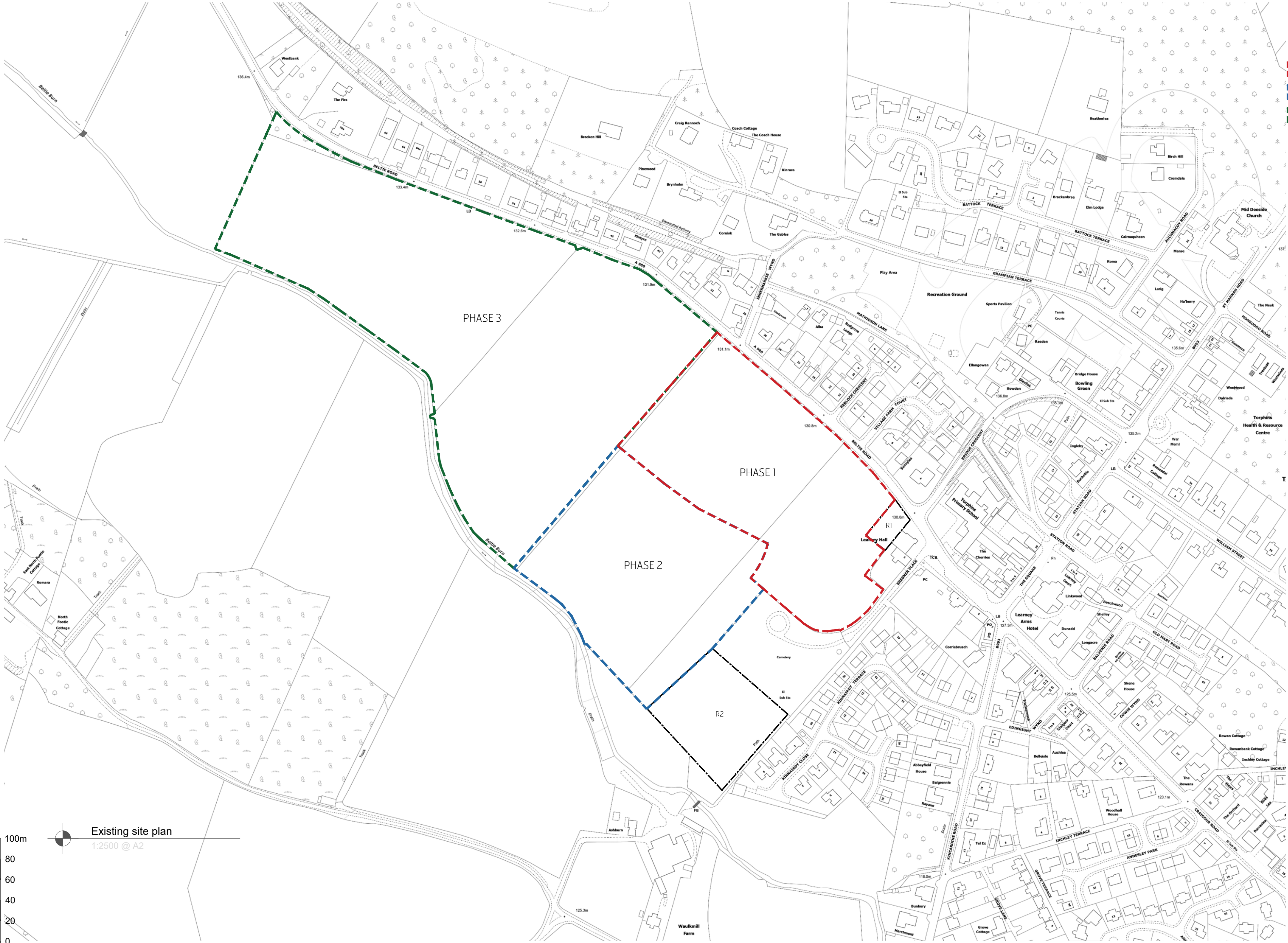


By completing this form I agree that Aberdeenshire Council can use the information provided in this form for the purposes of identifying possible land for allocation in the next Local Development Plan. I also agree that the information provided, other than contact details and information that is deemed commercially sensitive (questions 1 to 3), can be made available to the public.

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REV.	AMENDMENT	BY:	DATE
A	Labels for Phases 1, 2 and 3 added		20.03.2018
B	Adjustments made to all boundaries		26.03.2018

- BID 1 AREA - 29 RESIDENTIAL UNITS**
[PHASE 1] - 38,048 m²
- BID 2 AREA - 21 RESIDENTIAL UNITS**
[PHASE 2] - 32,960 m²
- BID 3 AREA - UP TO 50 RESIDENTIAL UNITS**
[PHASE 3] - 87,770 m²



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brooks
murray

CLIENT:
AJC HOMES

JOB:
TORPHINS

DRAWING TITLE:
EXISTING SITE PLAN

SCALE:
1:2500 @ A2

DATE:
MARCH 2018

STATUS:

DRAWING NUMBER:
1198 - 090

REV:
B

ISSUED BY:
[Signature]

DRAWING CODE
XXXX-BMA-XX-XX-DR-A-XXXXXX-00



① **Edge Park** - the proposed built form is set back from Beltie Road and a new edge park incorporates a walking route that links the western end of Torphins with the Village Hall. The existing dry stone wall along Beltie Road should be retained to improve the sense of enclosure.



② **Neighbourhood Park** - the existing undulating topography and orientation offer a unique opportunity to create a linear park within the development, where housing frontage can be provided. Opportunity to incorporate Sustainable Drainage Systems in the design.



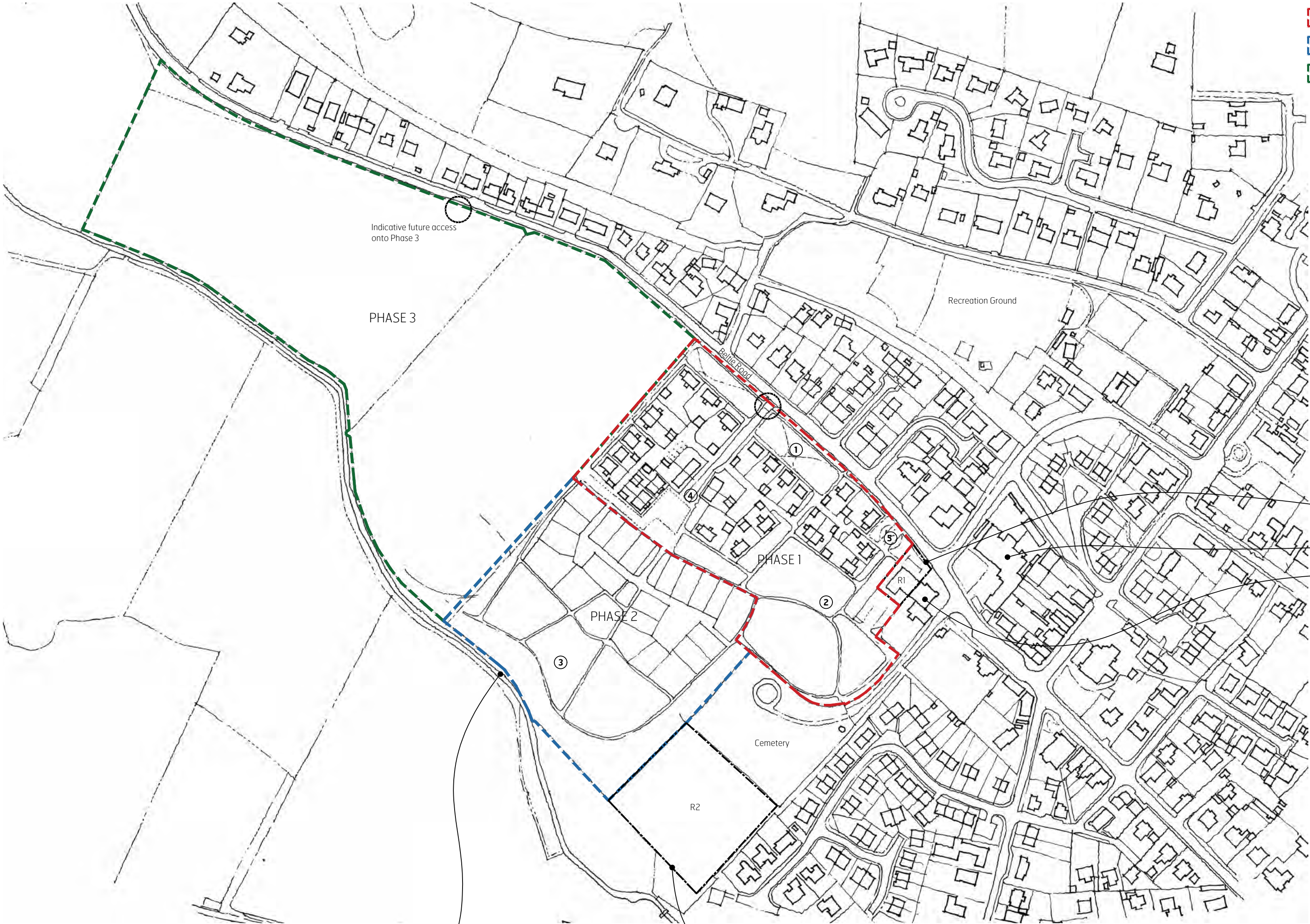
③ **Beltie Burn walking route** - landscaped areas and informal walking routes are proposed along the southern edge of the development, providing open views into the countryside.



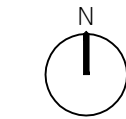
④ **Shared surfaces** - shared surfaces are generally a friendly environment where pedestrians take priority over cars; and are seen as a softer approach to vehicular access within new developments.



⑤ **Informal play area** - an informal play area is proposed adjacent to the area reserved for a village hall extension and in close proximity of the Primary School.



- BID 1 AREA** - 29 RESIDENTIAL UNITS
[PHASE 1] - 38,048 m²
- BID 2 AREA** - 21 RESIDENTIAL UNITS
[PHASE 2] - 32,960m²
- BID 3 AREA** - UP TO 50 RESIDENTIAL UNITS
[PHASE 3] - 87,770 m²



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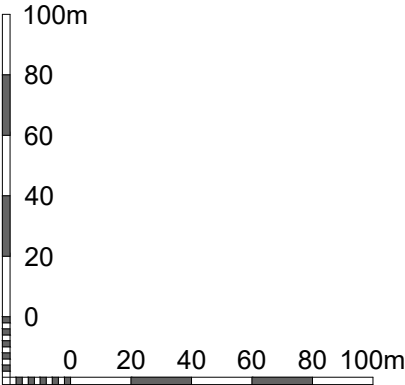
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JOB:
TORPHINS

DRAWING TITLE:
CONCEPT PLAN

SCALE:
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DATE:
MARCH 2018
STATUS:

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REV: D
ISSUED BY: [Signature]
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Concept plan
1:2500 @ A2

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REV.	AMENDMENT	BY:	DATE
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A	Colour and various notes added to drawing		22.03.2018
B	Phase 1 boundary extended on western edge / updated annotation		28.03.2018
C	Updated trees as per landscape plan		28.03.2018

PHASE 1 - 38,048 m²
BID 1 AREA - 29 RESIDENTIAL UNITS

PHASE 1 RESIDENTIAL BREAKDOWN
To be read in conjunction with accommodation schedule

COTTAGE - 2B - 67.5 m² - **2 UNITS**
TYPE N - 3B - 100m² - **6 UNITS**
MORVEN - 3B - 110 m² - **4 UNITS**
CRAIGLICH - 3B - 110 m² - **3 UNITS**
CUBLEAN - 4B - 137 m² - **3 UNITS**
FOUDLAND - 4B - 160m² - **5 UNITS**
ARGYLL - 4B - 177 m² - **6 UNITS**

TOTAL - 29 UNITS

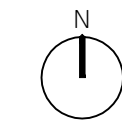
Of which, 25% (8 no.) affordable housing shown **in red** - plots 14, 15, 19, 20, 21, 22, 23 and 24

Civic space for the community - equipped play area in close proximity of the primary school.

R1 - area reserved for an extension to the public hall. Forecourt reserved for car parking

Area reserved for a future car park, associated to Learney Hall

Pedestrian access only




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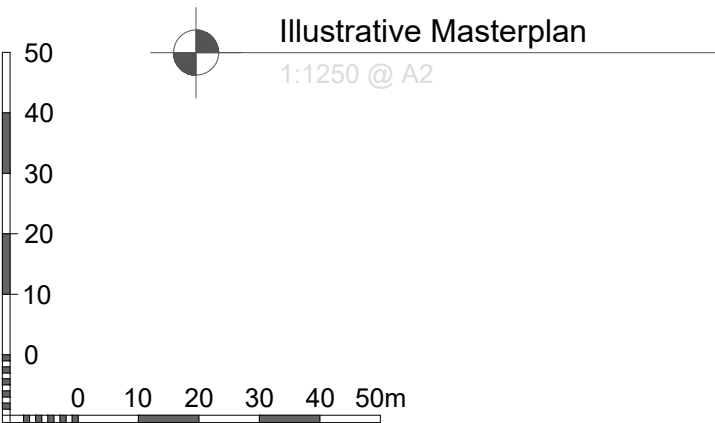
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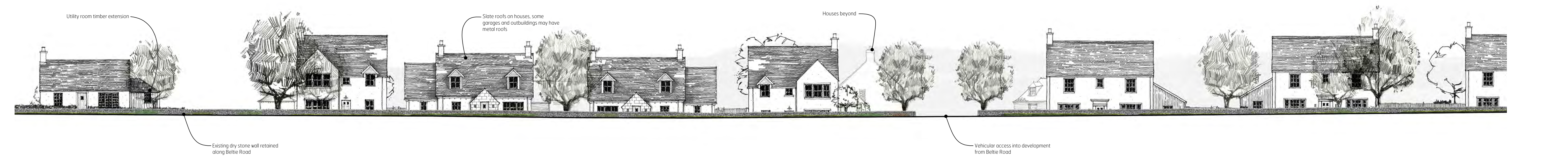
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JOB:
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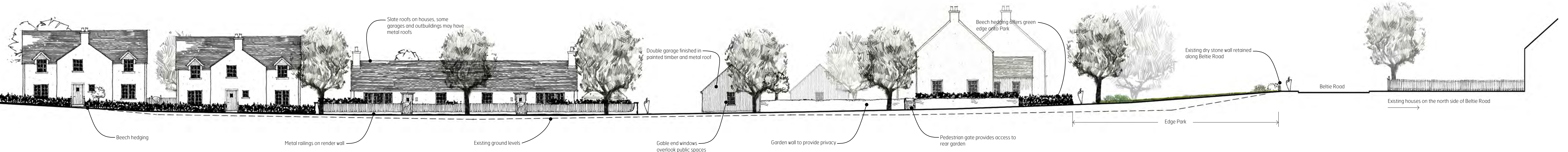
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STREET ELEVATION 1
1:200 @ A1



STREET ELEVATION 2
1:200 @ A1

10m

8

6

4

2

0

0 2 4 6 8 10m

KEY PLAN
1:2000 @ A1

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JOB:
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DRAWING TITLE:
PROPOSED STREET ELEVATIONS

SCALE:
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DATE:
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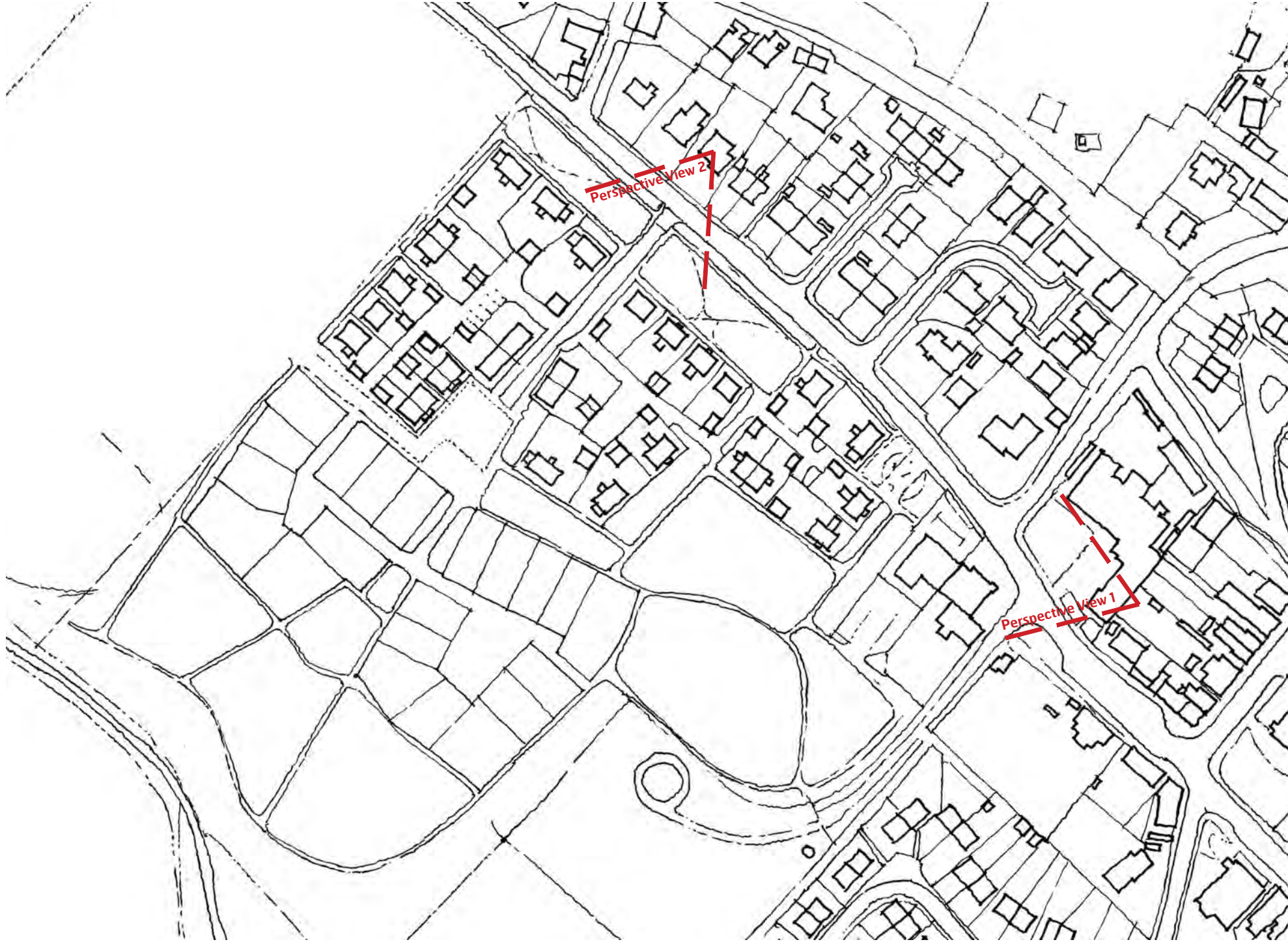
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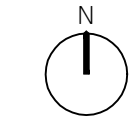
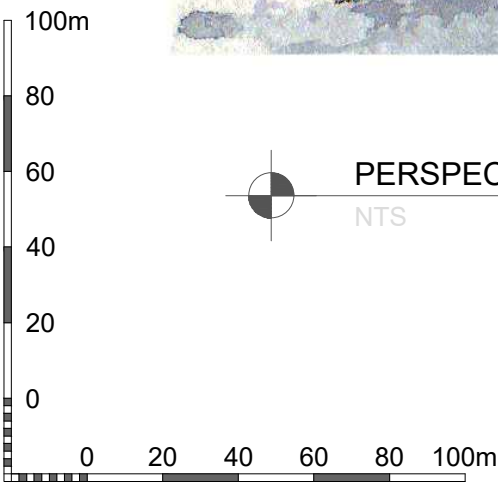
PERSPECTIVE VIEW 1
NTS



KEY PLAN
1:2000 @ A1



PERSPECTIVE VIEW 2
NTS



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DRAWING TITLE:
PERSPECTIVE VIEWS 1 & 2

SCALE:
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DATE:
MARCH 2018
STATUS:

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DRAWING CODE: XXXX-BMA-XX-XX-DR-A-XXXXXX-00

TORPHINS



Secondary tree lined avenue would provide a visual screen and soft green edge to Phase 1 and 2 of the development and would ultimately provide a key link to the future Phase 3 of development

Village Green - Meeting point and orientation with key views out to the Beltie Burn

Properties on northern and western edge face outward to activate boundaries

Urban form extends to Beltie Road to support townscape character of village centre

Flexible Play and Community space



Buffer to the Beltie Burn and River Dee SAC allows for creation of an ecological walk

Green buffer to cemetery

SUDS

- KEY**
- Primary Access
 - Secondary Access (Homezone)
 - Tertiary Access (Footpaths)
 - Formal Parkland
 - Informal Soft Landscape/Wildflower
 - Wet Meadow
 - SUDS
 - Key Public Buildings
 - Flexible Community Space
 - Opportunities for Integrated Informal Play
 - Village Green
 - Parkland/Orchard Tree
 - Primary Avenue Tree
 - Secondary Avenue Tree
 - Structure Tree Planting



Formal Lime Avenue Primary Access



Integrated SUDS



Beltie Burn Informal Route



Village Green

Torphins - Concept Landscape Arrangement

March 2018

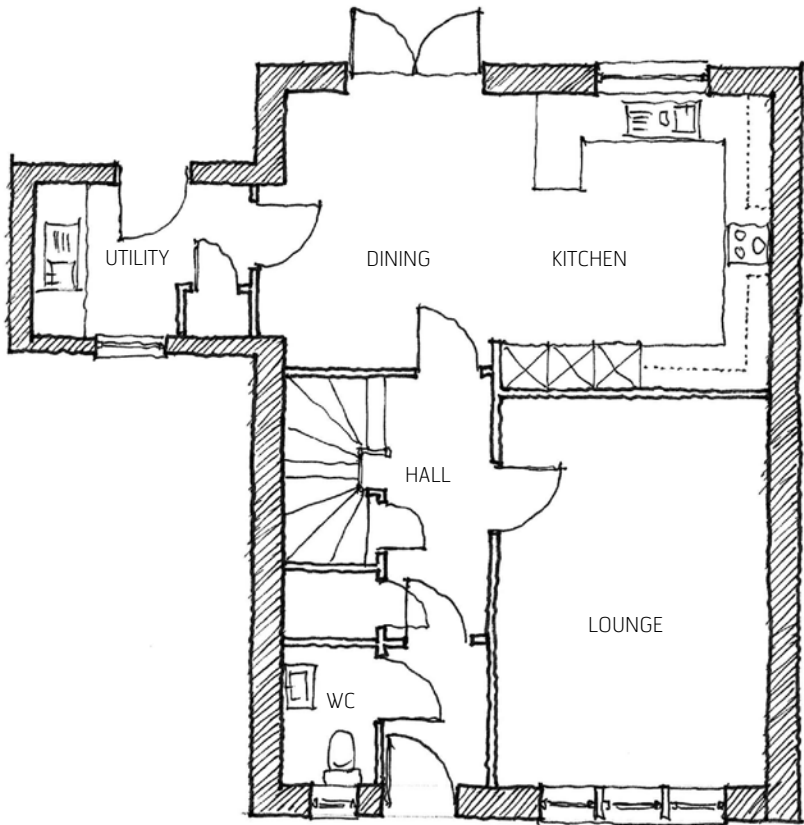
JOB ED12437 | REF L-4000 | REVB - ISSUE 28.03.18

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armstrong

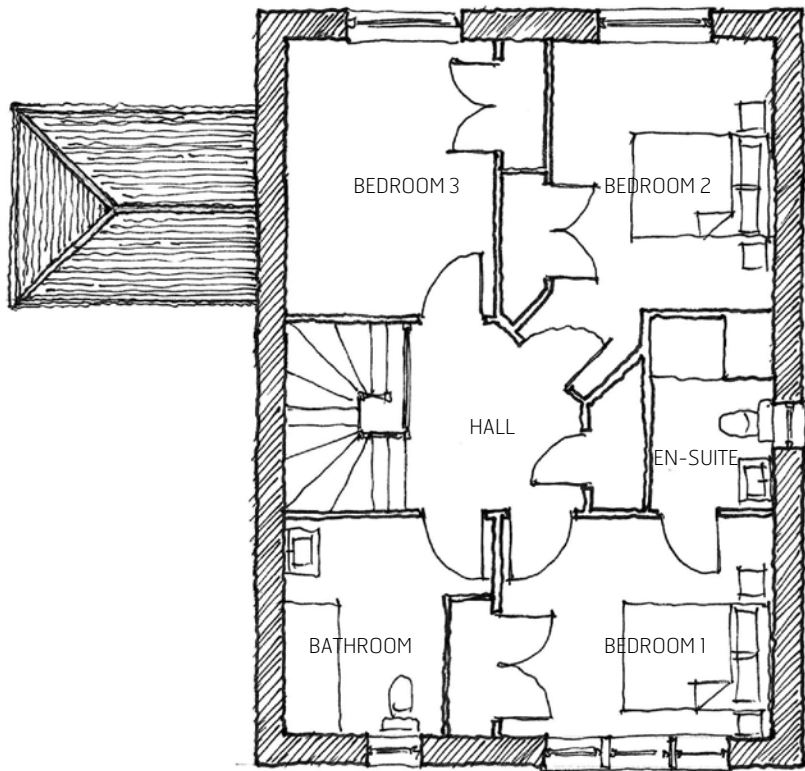
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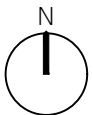
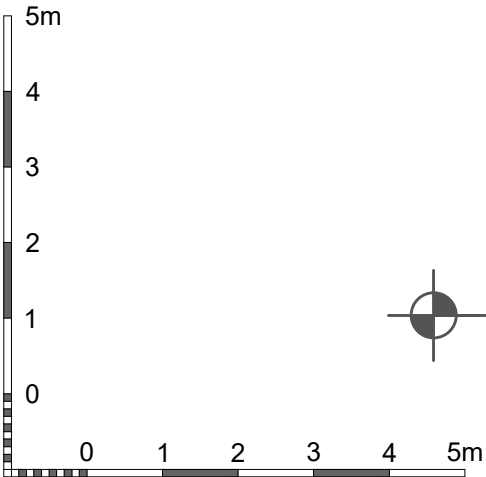
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Ground floor plan
1:100 @ A3



First floor plan
1:100 @ A3



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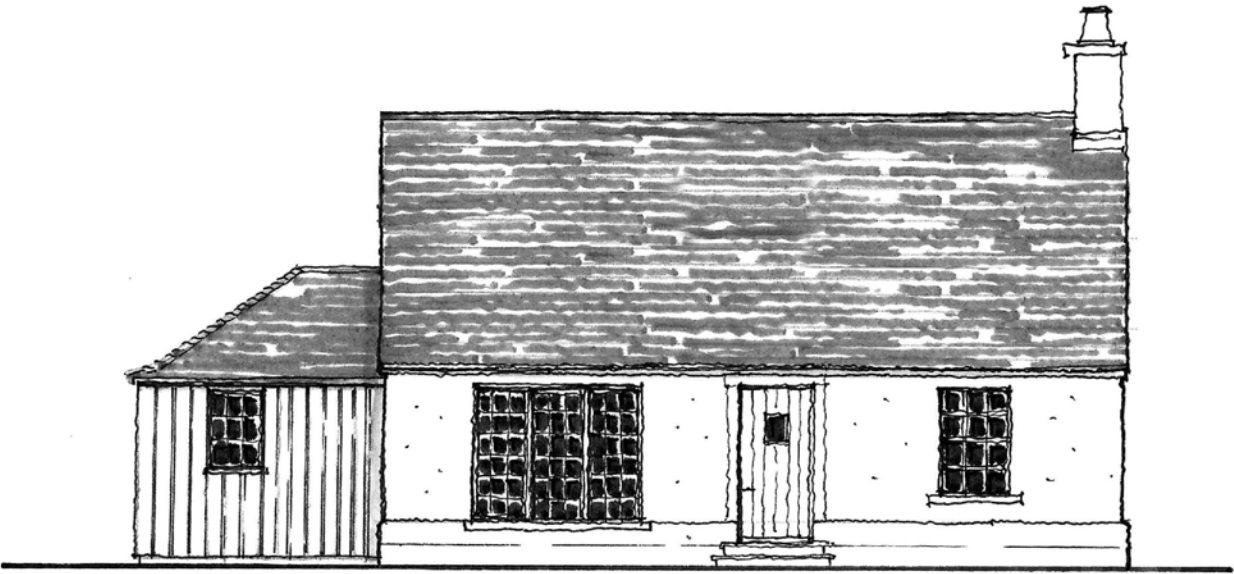
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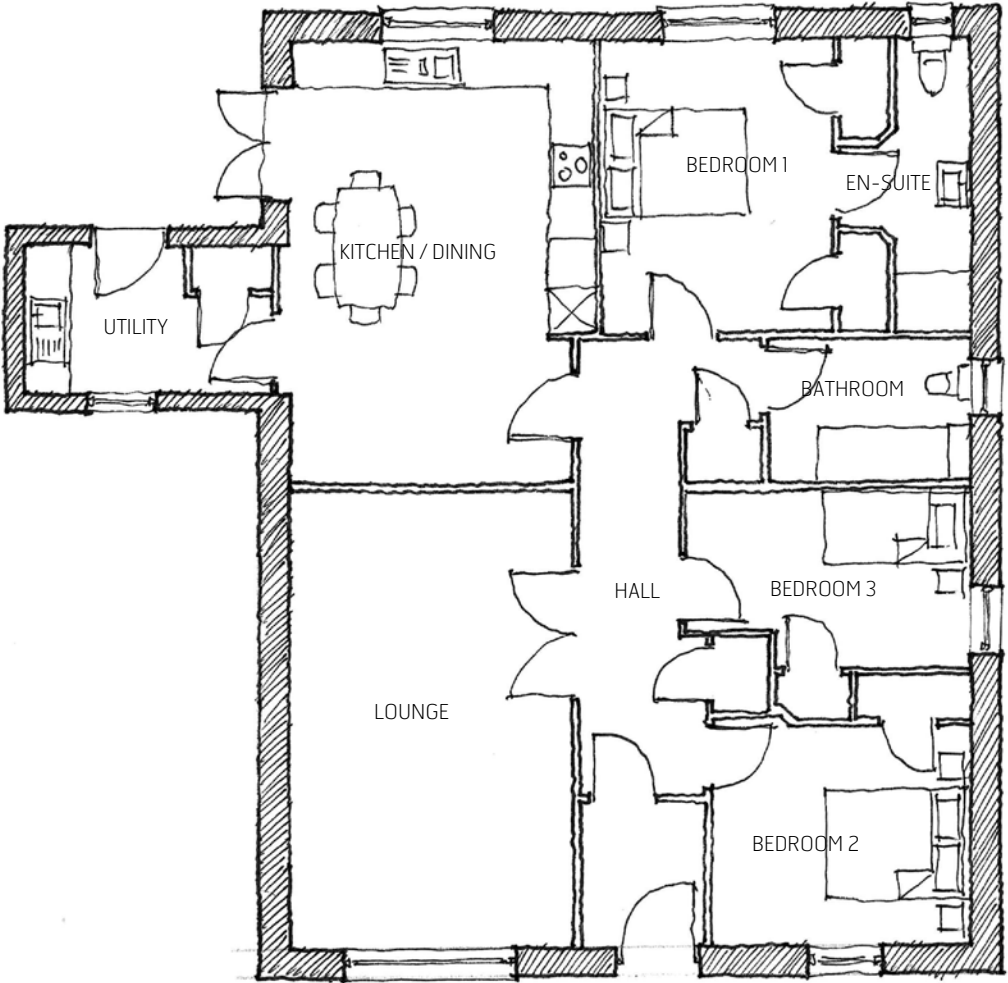
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MORVEN
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MARCH 2018
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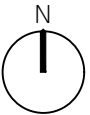
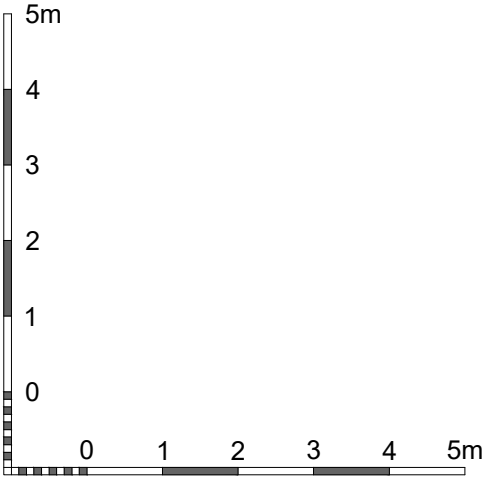
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Front elevation
1:100 @ A3



Ground floor plan
1:100 @ A3



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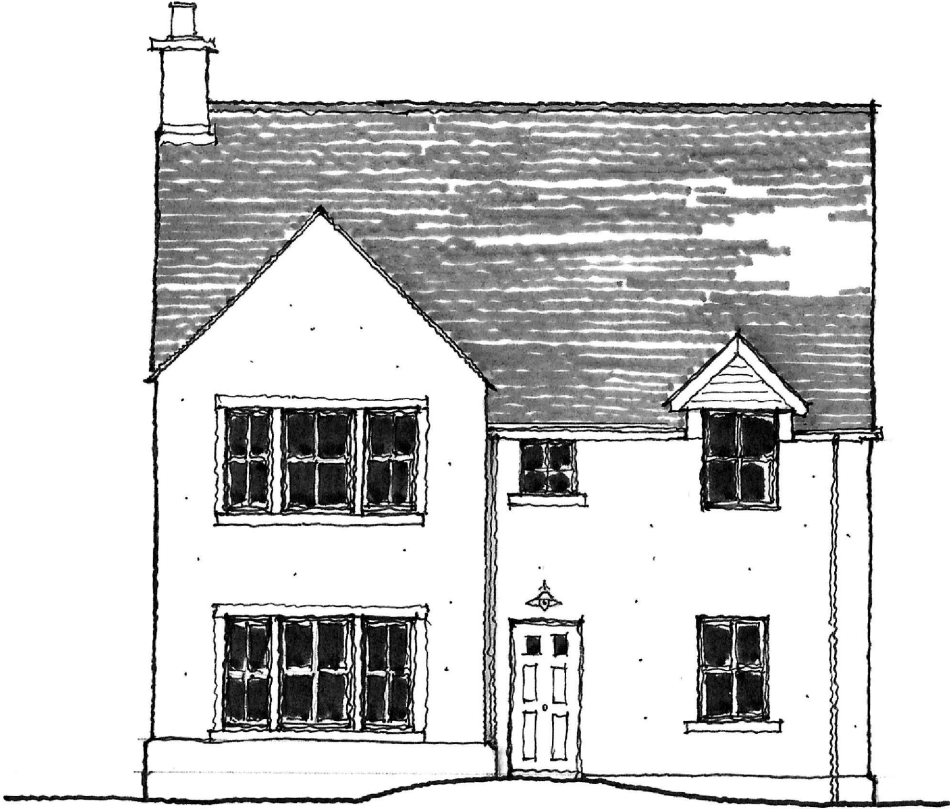
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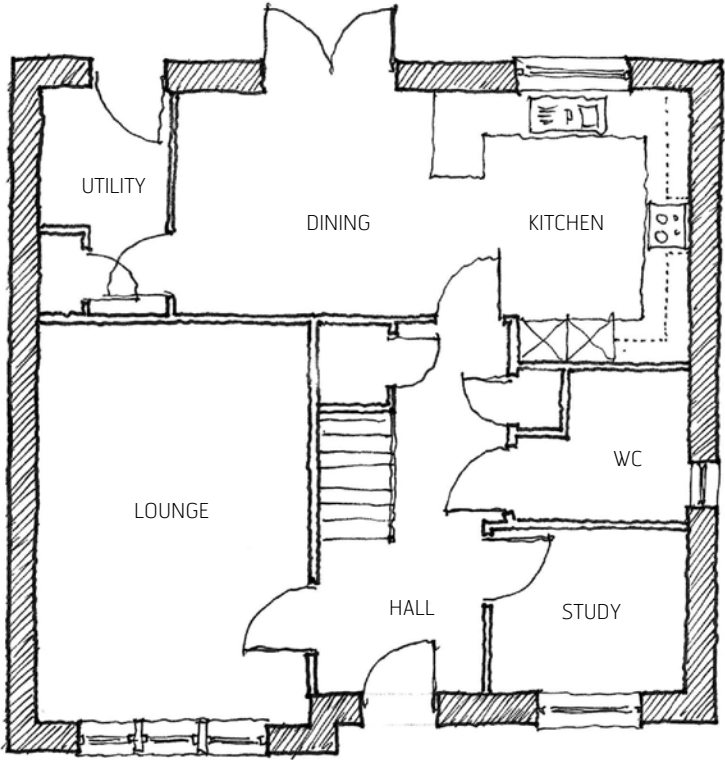
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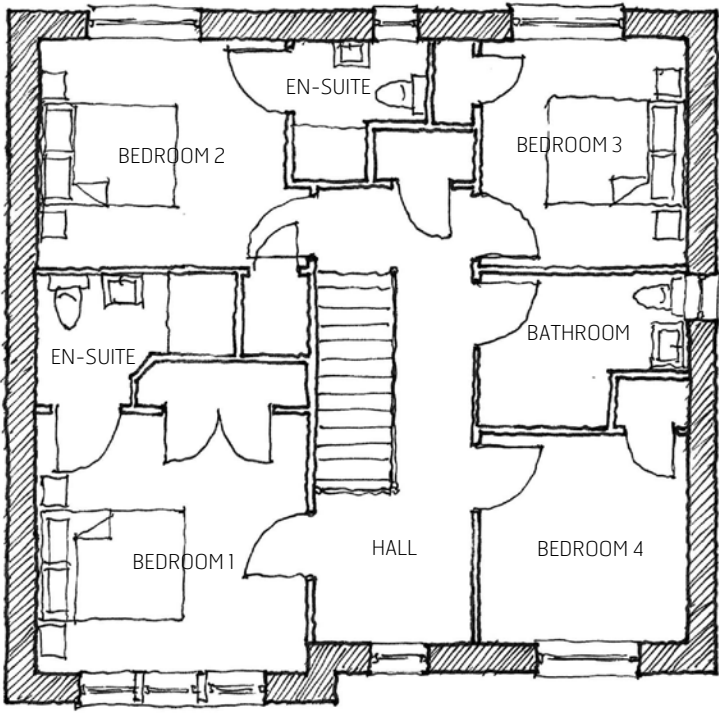
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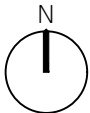
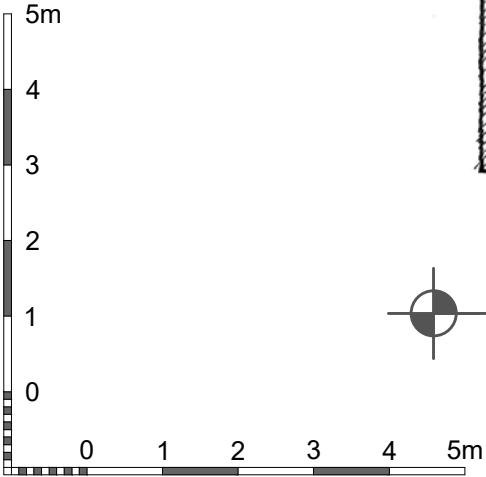
Front elevation
1:100 @ A3



Ground floor plan
1:100 @ A3



First floor plan
1:100 @ A3



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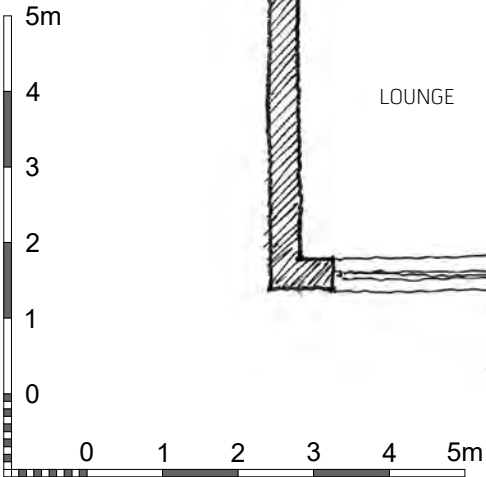
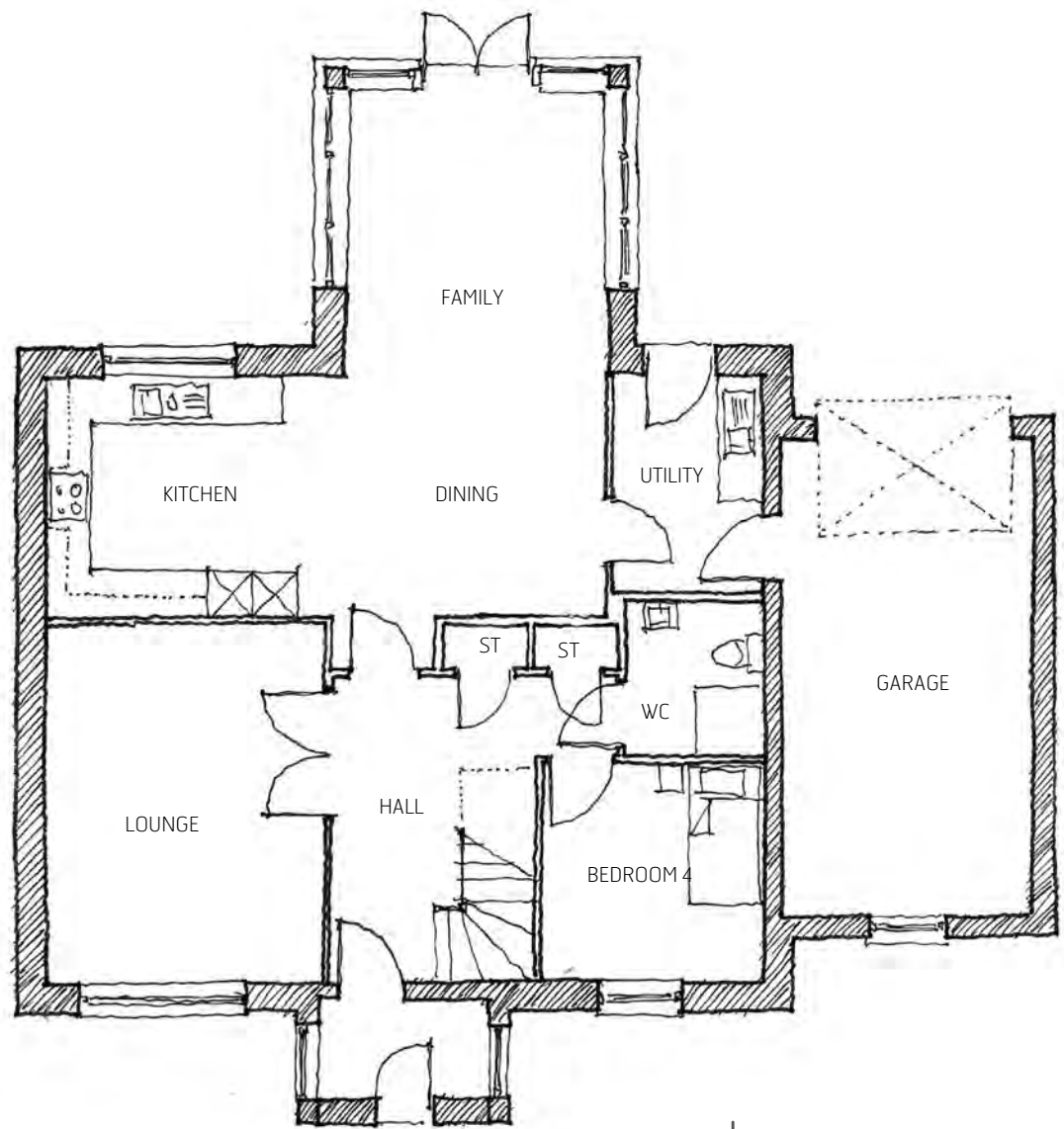
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HOUSE TYPES
CUBLEAN
SCALE:
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DATE:
MARCH 2018
STATUS:

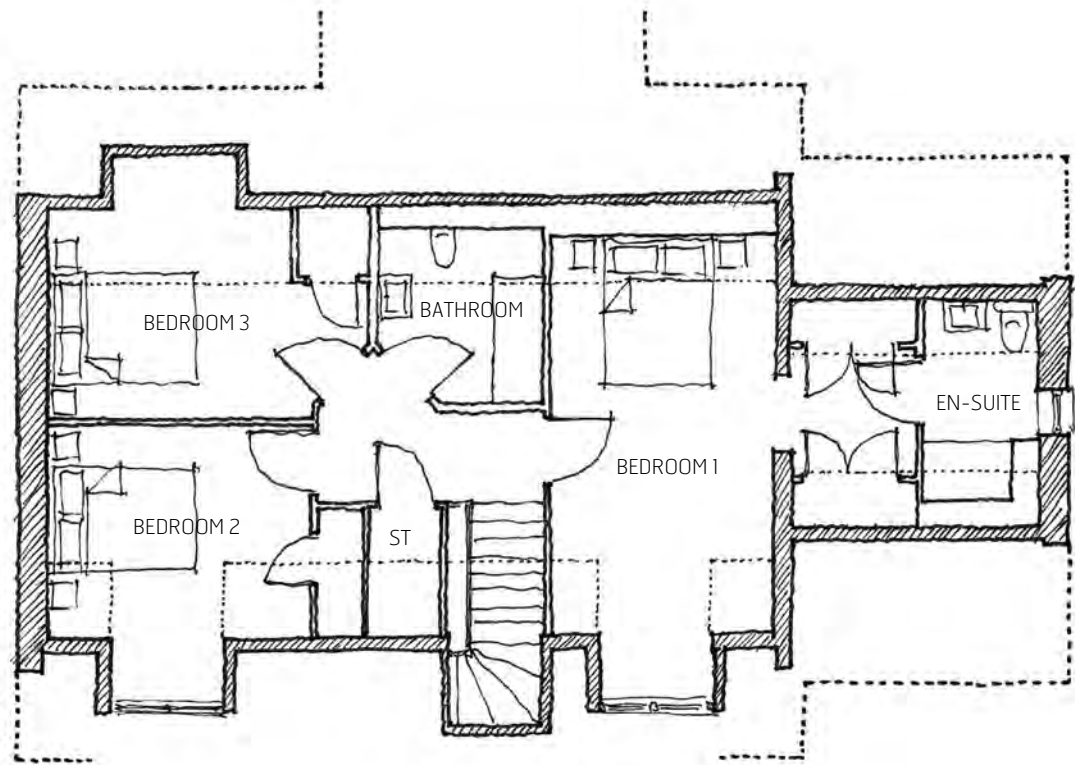
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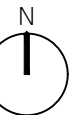
Front elevation
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Ground floor plan
1:100 @ A3



First floor plan
1:100 @ A3



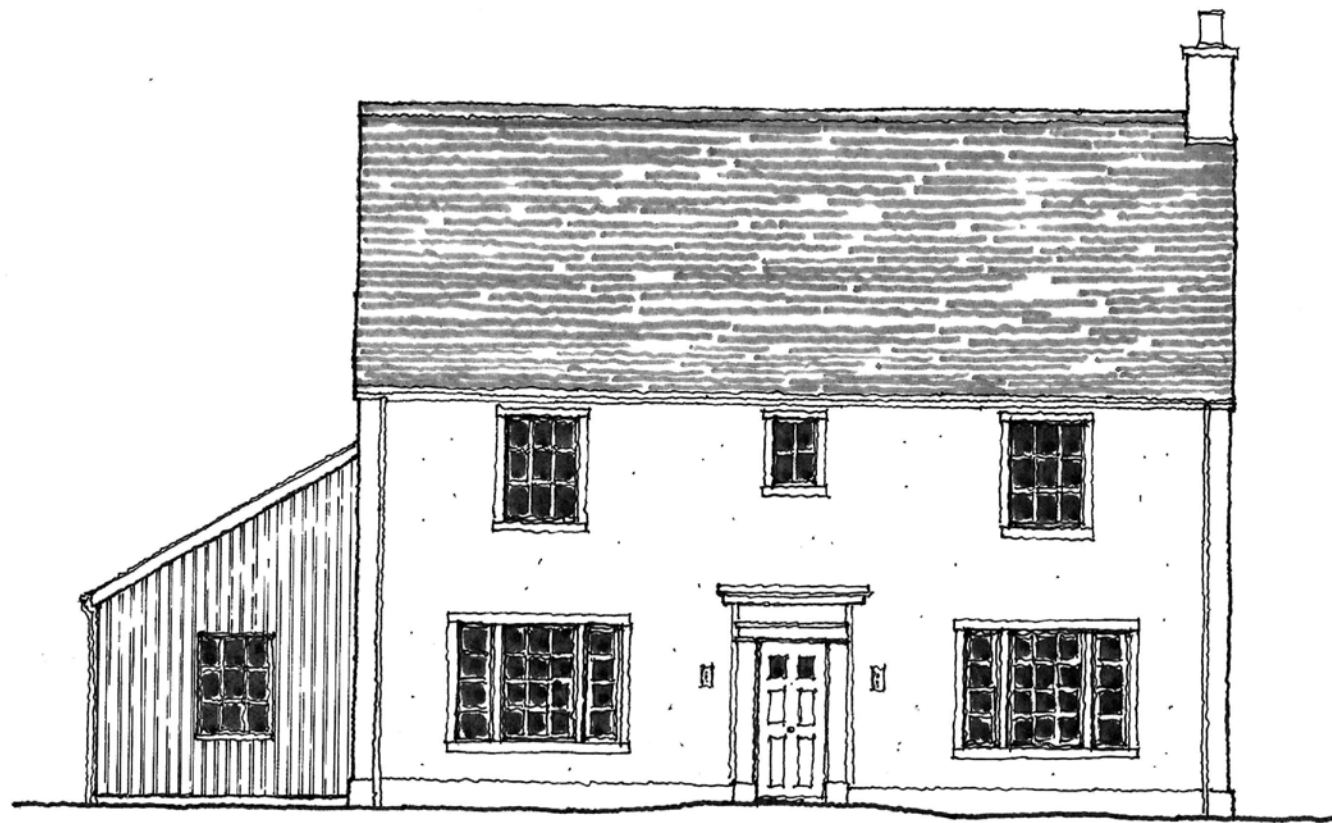
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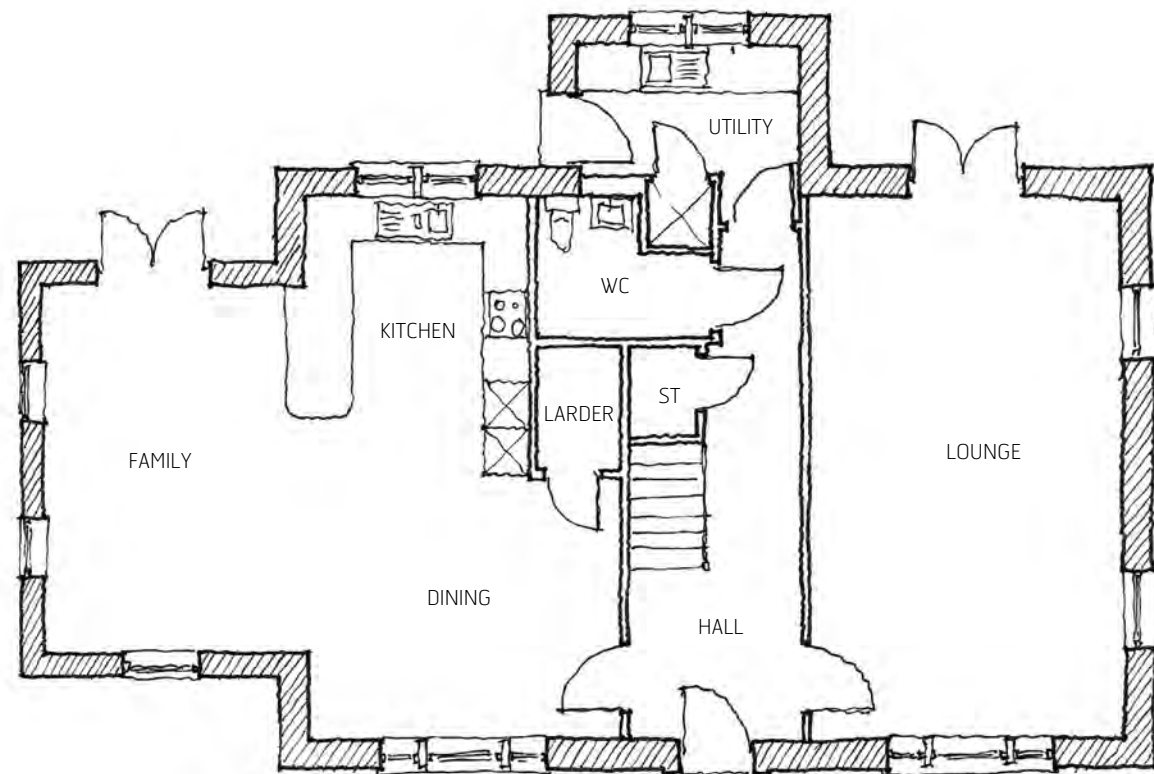
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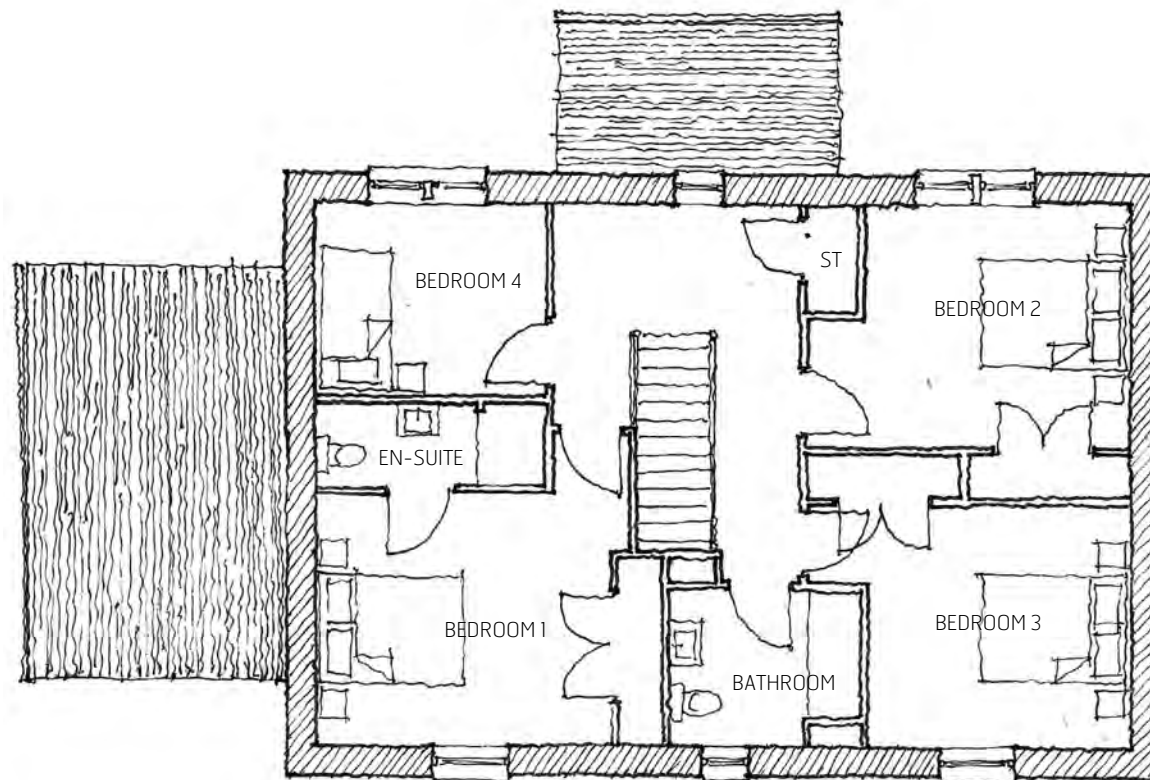
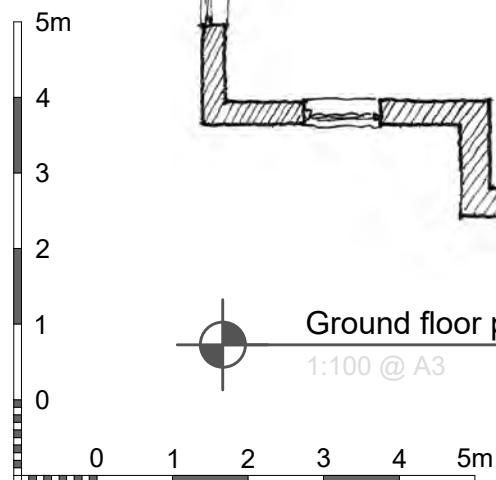
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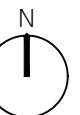
Front elevation
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Ground floor plan
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First floor plan
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Brooks Murray Architects

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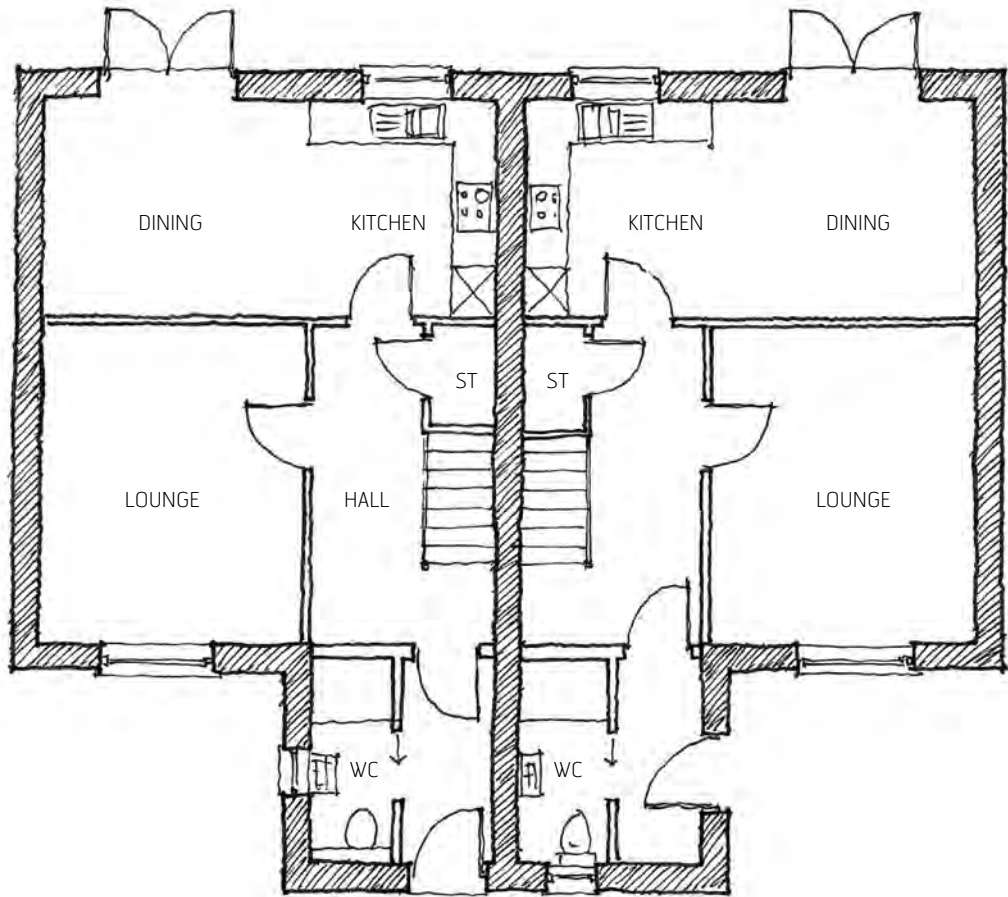
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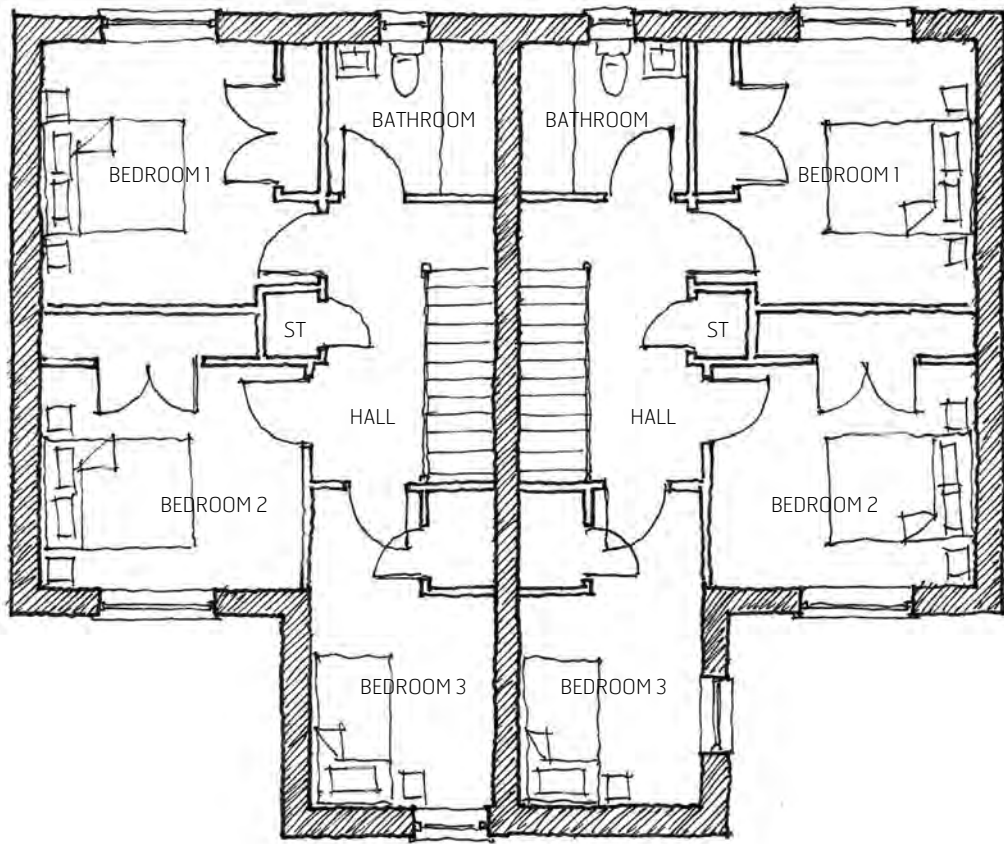
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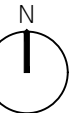
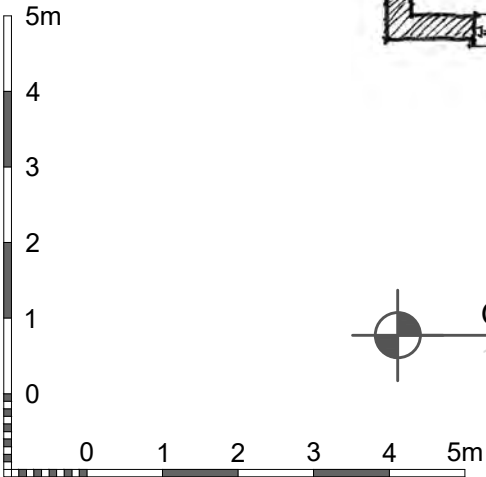
Front elevation
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Ground floor plan
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First floor plan
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Brooks Murray Architects

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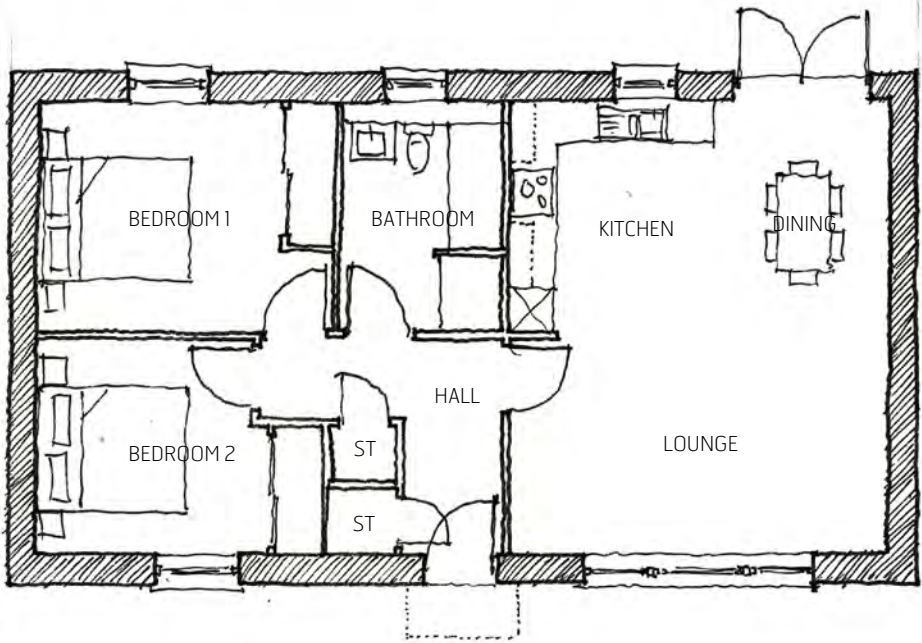
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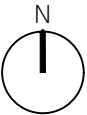
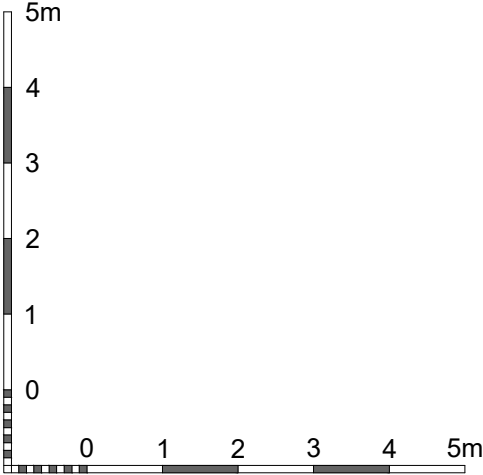
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Front elevation
1:100 @ A3



Ground floor plan
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Brooks Murray Architects

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STATUS:

DRAWING NUMBER: 1198 - 406
REV: 
ISSUED BY: 



Planning Policy
Infrastructure Services
Aberdeenshire Council
Woodhill House
Westburn Road
Aberdeen
AB10 5GB

29th March 2018

Dear [REDACTED]

ABERDEENSHIRE LOCAL DEVELOPMENT PLAN (LDP) 2021 – LAND TO SOUTH / WEST OF TORPHINS PHASE 2

Please find enclosed our completed bid form, location plan and supporting information in relation to Phase 2 of our 'Land to the South / West of Torphins' LDP bid, submitted on behalf of AJC Homes and [REDACTED].

We trust that the information within this bid is clear, however if you have any questions or require any further information please do not hesitate to contact us.

Yours sincerely
for Wardell Armstrong LLP

[REDACTED]

Senior Planner

[REDACTED]



Local Development Plan 2021

Call for Sites Response Form

Aberdeenshire Council would like to invite you to use this form to submit a site for consideration within the next Local Development Plan (LDP 2021) for the period 2021 to 2031. A separate form should be completed for each site you wish to submit.

This is not a speculative plan. It is a fresh 'call for sites', so please re-submit any sites that do not or are not expected to have planning permission by 2021.

In order for the bids to be fully assessed, it is crucial that the questions in the bid form are answered fully and concisely with clear evidence of deliverability. The submission of a supporting statement, often known as a paper apart, should be avoided, and only assessments, such as a Flood Risk Assessment that has already been undertaken, should be submitted in support of your proposed site.

Completed forms and Ordnance Survey "Landline" site maps should be returned by email to:
ldp@aberdeenshire.gov.uk

Alternatively, you can return the form and Ordnance Survey map by post to:
Planning Policy, Infrastructure Services, Woodhill House, Westburn Road, Aberdeen AB16 5GB

All forms must be submitted by 31 March 2018.

1. Your Details

Name	
Organisation (if applicable)	Wardell Armstrong LLP
Address	
Telephone number	
Email address	
Do you wish to subscribe to our newsletter?	Yes

2. If you are acting as an agent on behalf of a third party, please give their details

Name	
Organisation (if applicable)	AJC Homes
Address	
Telephone number	
Email address	

3. Other Owners

Please give name, organisation, address, email details of other owner(s) where appropriate:	
Do these owners know this is being proposed for development?	Yes

For data protection purposes, please complete the rest of this form on a new page

4. Site Details

Name of the site (Please use the LDP name if the site is already allocated)	Land to the South / West of Torphins (Phase 2)
Site address	Land South of Beltie Road, Torphins, Aberdeenshire
OS grid reference (if available)	
Site area/size	3.3 hectares
Current land use	Agricultural
Brownfield/greenfield	Greenfield
Please include an Ordnance Survey map (1:1250 or 1:2500 base for larger sites, e.g. over 2ha) showing the location and extent of the site, points of access, means of drainage etc.	

5. Ownership/Market Interest

Ownership (Please list the owners in question 3 above)	Sole owner – [REDACTED] Option to purchase – AJC Homes
Is the site under option to a developer?	Yes AJC Homes
Is the site being marketed?	No N/A

6. Legal Issues

Are there any legal provisions in the title deeds that may prevent or restrict development? (e.g. way leave for utility providers, restriction on use of land, right of way etc.)	No
	N/A
Are there any other legal factors that might prevent or restrict development? (e.g. ransom strips/issues with accessing the site etc.)	No
	N/A

7. Planning History

Have you had any formal/informal pre-application discussions with the Planning Service and what was the response?	Yes
	Informal discussion with Aberdeenshire Council Planning Policy Team in relation to potential acceptable scale of development.
Previous planning applications	No
Previous 'Call for sites' history. See Main Issues Report 2013 at www.aberdeenshire.gov.uk/ldp	Please provide Previous 'Call for sites'/'Bid' reference number: MA056
Local Development Plan status www.aberdeenshire.gov.uk/ldp	Is the site currently allocated for any specific use in the existing LDP? No
	If yes, do you wish to change the site description and or allocation? N/A

8. Proposed Use

Proposed use		Housing/employment/mixed use/other (please specify): Residential
Housing	Approx. no of units	21

	Proposed mix of house types	TBC
	Tenure (Delete as appropriate)	Private/Rented/Self-Build/Supported houses (e.g. for elderly)/Other (please specify): TBC
	Affordable housing proportion	25%
Employment	Business and offices	Indicative floor space: 0m ²
	General industrial	Indicative floor space: 0m ²
	Storage and distribution	Indicative floor space: 0m ²
	Do you have a specific occupier for the site?	N/A
Other	Proposed use (please specify) and floor space	TBC
	Do you have a specific occupier for the site?	N/A
Is the area of each proposed use noted in the OS site plan?		Yes

9. Delivery Timescales

We expect to adopt the new LDP in 2021. How many years after this date would you expect development to begin? (please tick)	0-5 years	
	6-10 years	✓
	10+ years	
When would you expect the development to be finished? (please tick)	0-5 years	
	6-10 years	✓
	+ 10years	
Have discussions taken place with financiers? Will funding be in place to cover all the costs of development within these timescales?	Yes	
	Combination of cash and bank funding	
Are there any other risk or threats (other than finance) to you delivering your proposed development	No	
	N/A	

10. Natural Heritage

<p>Is the site located in or within 500m of a nature conservation site, or affect a protected species?</p> <p>Please tick any that apply and provide details.</p> <p>You can find details of these designations at:</p> <ul style="list-style-type: none"> https://www.environment.gov.scot/ 	RAMSAR Site	No
	Special Area of Conservation	Yes, River Dee SAC – the Beltie Burn is located immediately to the south of the site and is a tributary of the River Dee.
	Special Protection Area	No
	Priority habitat (Annex I)	No

<ul style="list-style-type: none"> • EU priority habitats at http://gateway.snh.gov.uk/sitelink/index.jsp • UK or Local priority habitats at http://www.biodiversityscotland.gov.uk/advice-and-resources/habitat-definitions/priority/) • Local Nature Conservation Sites in the LDP's Supplementary Guidance No. 5 at www.aberdeenshire.gov.uk/ldp 	European Protected Species	No
	Other protected species	No
	Site of Special Scientific Interest	No
	National Nature Reserve	No
	Ancient Woodland	No
	Trees, hedgerows and woodland (including trees with a Tree Preservation Order)	No
	Priority habitat (UK or Local Biodiversity Action Plan)	Yes – see above reference to River Dee SAC
	Local Nature Conservation Site	No
	Local Nature Reserve	No
<p>If yes, please give details of how you plan to mitigate the impact of the proposed development:</p> <p>It is proposed to leave a suitable buffer between the proposed built development and the Beltie Burn to protect the qualifying interests of the River Dee SAC.</p> <p>Instead this area will form an area of Green Network providing the opportunity to enhance the existing wildlife corridor along the Beltie Burn, as well as providing a high quality open space area for the local community to utilise.</p>		
Biodiversity enhancement		
Please state what benefits for biodiversity this proposal will bring (as per paragraph 194 in Scottish Planning Policy), http://www.gov.scot/Resource/0045/00453827.pdf) by ticking all that apply. Please provide details.	Restoration of habitats	Site currently has low habitat value being agricultural land with no woodland or hedgerows.
	Habitat creation in	A number of landscape/ open space areas will be created providing the opportunity to

<p>See Planning Advice 5/2015 on Opportunities for biodiversity enhancement at: www.aberdeenshire.gov.uk/media/19598/2015_05-opportunities-for-biodiversity-enhancement-in-new-development.pdf</p> <p>Advice is also available from Scottish Natural Heritage at: https://www.snh.scot/professional-advice/planning-and-development/natural-heritage-advice-planners-and-developers and http://www.nesbiodiversity.org.uk/.</p>	public open space	introduce native species planting, including trees, and the enhancement of the existing green network close to Beltie Burn.
	Avoids fragmentation or isolation of habitats	No habitats of high ecological value currently on site have been identified on site. The creation of new green/ open space areas will provide the opportunity to introduce new habitats/ native species to site.
	Provides bird/bat/insect boxes/Swift bricks (internal or external)	Yes, we will consult with our project ecologist to identify the most suitable locations.
	Native tree planting	Native tree planting is proposed. See Concept Landscape Arrangement for more detail.
	Drystone wall	Drystone walls along field boundaries will be retained where possible. Where they are required to be moved, the material will be reused elsewhere on site.
	Living roofs	The feasibility of living roofs will be considered at detailed design stage, and where possible incorporated.
	Ponds and soakaways	The proposal will incorporate SUDS providing an opportunity to create green/ blue network.
	Habitat walls/fences	As detailed above, existing drystone walls will be retained where possible. If not, the material will be reused on site.
	Wildflowers in verges	Yes, to enhance biodiversity and fit in with rural character of area.
	Use of nectar rich plant species	Nectar rich plant species will be included within the landscape design.
	Buffer strips along watercourses	An appropriate buffer will be retained from the Beltie Burn. It is proposed to create open space along the southern edge of the site closest to the burn.

	Show home demonstration area	Yes
	Other (please state):	
	Please provide details:	

11. Historic environment

Historic environment enhancement		
Please state if there will be benefits for the historic environment.	Yes	
	The proposed housing is of a high quality, rural design, appropriate for the village setting of Torphins and complementary to existing housing in the settlement. When designing the housing, consideration has been given to the local vernacular including building height and materials.	
Does the site contain/is within/can affect any of the following historic environment assets? Please tick any that apply and provide details. You can find details of these designations at: <ul style="list-style-type: none"> http://historicscotland.maps.arcgis.com/apps/Viewer/index.html?appid=18d2608ac1284066ba3927312710d16d http://portal.historicenvironment.scot/ https://online.aberdeenshire.gov.uk/smrpub/master/default.aspx?Authority=Aberdeenshire 	Scheduled Monument or their setting	No
	Locally important archaeological site held on the Sites and Monuments Record	No
	Listed Building and/or their setting	No
	Conservation Area (e.g. will it result in the demolition of any buildings)	No
	Inventory Gardens and Designed Landscapes	No
	Inventory Historic Battlefields	No
	If yes, please give details of how you plan to mitigate the impact of the proposed development	

12. Landscape Impact

Is the site within a Special Landscape Area (SLA)? (You can find details in Supplementary Guidance 9 at www.aberdeenshire.gov.uk/ldp)	No If yes , please state which SLA your site is located within and provide details of how you plan to mitigate the impact of the proposed development:
SLAs include the consideration of landscape character elements/features. The characteristics of landscapes are defined in the Landscape Character Assessments produced by Scottish Natural Heritage (see below) or have been identified as Special Landscape Areas of local importance. <ul style="list-style-type: none"> SNH: Landscape Character Assessments https://www.snh.scot/professional- 	If your site is not within an SLA , please use this space to describe the effects of the site's scale, location or design on key natural landscape elements/features, historic features or the composition or quality of the landscape character: Torphins is located within the Cromar Uplands Landscape Character Area of the South and

<p>advice/landscape-change/landscape-character-assessment</p> <ul style="list-style-type: none"> • SNH (1996) Cairngorms landscape assessment http://www.snh.org.uk/pdfs/publications/review/075.pdf • SNH (1997) National programme of landscape character assessment: Banff and Buchan http://www.snh.org.uk/pdfs/publications/review/037.pdf • SNH (1998) South and Central Aberdeenshire landscape character assessment http://www.snh.org.uk/pdfs/publications/review/102.pdf 	<p>Central Aberdeenshire LCA. The key <i>Specific Guidance</i> objectives are:</p> <ul style="list-style-type: none"> • <i>To retain the high diversity of textures and landscape features</i> • <i>To maintain the traditional settlement pattern and rural character</i> <p>The proposed development will be of a high quality design appropriate for the rural village setting of Torphins. Phasing of the proposed development would enable the village to grow in an organic way in line with the historic settlement patterns of Torphins.</p> <p>The existing village is bound with a soft wooded edge to the north, east and south providing an appropriate transition from urban to rural landscape. The western boundary of Torphins, which would provide the eastern boundary of the proposed allocation site, is predominantly hard. It is proposed through phased development to gradually soften this edge through internal structure tree planting, graded development density and a wooded development edge to the west of Phase 3. This would ultimately prove beneficial to the character of the western extents of the village.</p> <p>During the interim phases of development a soft boundary would be maintained through strategic siting of parkland and wooded avenues. This would provide visual screening and reduce impact to the character of the surrounding landscape of Torphins. As phases progress these green edges would be incorporated into the development to provide a strong green infrastructure.</p> <p>The character of the proposed landscape is diverse with formal elements closer to the historic centre of Torphins and informal naturalised elements closer to the Beltie Burn and outer boundary of the site. This would provide a range of landscape textures in keeping with the wider landscape character of Torphins.</p> <p>A development buffer is proposed to the Beltie Burn and River Dee Special Area of Conservation that bounds the site to the south-west. This buffer would retain and protect the landscape</p>
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	<p>and ecological value of the Beltie Burn. The design would provide an informal path network to the peripheries of the buffer to ensure that the community of Torphins can enjoy this special landscape for generations to come. This would connect into the existing network of green infrastructure and public paths of Torphins and to key nodes within the development in line with the aims and objectives of local groups such as the Torphins Paths Group. This would foster integration of the new community with the existing.</p> <p>As discussed above, drystone dykes will be retained, and the material used, where appropriate, with the potential opportunity to create a village gateway feature at the north western corner of the site.</p> <p>In terms of scale of building design, all homes will be 1 – 2 storeys in height in keeping with existing urban grain of Torphins.</p>
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13. Flood Risk

Is any part of the site identified as being at risk of river or surface water flooding within SEPA flood maps, and/or has any part of the site previously flooded? (You can view the SEPA flood maps at http://map.sepa.org.uk/floodmap/map.htm)	<p>Yes</p> <p>If yes, please specify and explain how you intend to mitigate this risk:</p> <p>The southern edge of the site is at risk of river flooding as identified by SEPA's flood maps. The proposal will comprise detailed SUDs design which will adequately serve the development and prevent the risk of flooding. No built development is proposed in this area of the site. Instead, the land adjacent to the Beltie Burn will form an open space area.</p>
Could development on the site result in additional flood risk elsewhere?	<p>No</p> <p>If yes, please specify and explain how you intend to mitigate or avoid this risk:</p>
Could development of the site help alleviate any existing flooding problems in the area?	<p>Yes</p> <p>If yes, please provide details: Landscape planting (native trees) along the southern edge of the site may provide minor benefit.</p>

14. Infrastructure

a. Water / Drainage		
Is there water/waste water capacity for the proposed development (based on Scottish Water asset capacity search tool)	Water	Yes – undergoing growth with planned investment within 2015 – 2021 period (Ref:

http://www.scottishwater.co.uk/business/Connections/Connecting-your-property/Asset-Capacity-Search)?		Aberdeenshire Local Development Plan Action Programme 2017)
	Waste water	Yes – 65 units capacity available (Ref: Scottish Water Asset Capacity Search)
Has contact been made with Scottish Water?	No	
Will your SUDS scheme include rain gardens? http://www.centalscotlandgreennetwork.org/campaigns/greener-gardens	Yes – the option of installing rain water harvesting will be explored. This would consist of installing underground tanks which accommodate initial rain fall which can be used to water gardens, wash cars etc.	
b. Education – housing proposals only		
Education capacity/constraints https://www.aberdeenshire.gov.uk/schools/parents-carers/school-info/school-roll-forecasts/	Please provide details of any known education constraints. Is additional capacity needed to serve the development? No, the most recent school roll forecasts identify a declining school roll at Torphins Primary School. The current capacity (2017) is 85%, while capacity in 2022 is forecast to be 75%. The proposed development will provide the opportunity to support the declining school roll.	
Has contact been made with the Local Authority’s Education Department?	No	
c. Transport		
If direct access is required onto a Trunk Road (A90 and A96), or the proposal will impact on traffic on a Trunk Road, has contact been made with Transport Scotland?	No	
Has contact been made with the Local Authority’s Transportation Service? They can be contacted at transportation.consultation@aberdeenshire.gov.uk	No	
Public transport	Please provide details of how the site is or could be served by public transport: The site is located within close proximity to existing bus stops. The closest being immediately to the north of the site on Beltie Road.	

Active travel (i.e. internal connectivity and links externally)	Please provide details of how the site can or could be accessed by walking and cycling: The site is located adjacent to Torphins town centre
d. Gas/Electricity/Heat/Broadband	
Has contact been made with the relevant utilities providers?	Gas: No There is no gas infrastructure in Torphins.
	Electricity: No No known constraints in local area.
	Heat: No No known constraints in local area.
	Broadband: No No known constraints in local area.
Have any feasibility studies been undertaken to understand and inform capacity issues?	No – no known constraints in local area.
Is there capacity within the existing network(s) and a viable connection to the network(s)?	In relation to gas, electricity, heat and broadband, assumed yes as no known constraints in local area.
Will renewable energy be installed and used on the site? For example, heat pump (air, ground or water), biomass, hydro, solar (photovoltaic (electricity) or thermal), or a wind turbine (freestanding/integrated into the building)	Yes If yes, please specify the type of renewable energy technology(s), if it is to provide electricity and/or heating (i.e. space heating and/or hot water), and the scale of provision (To supplement off-site connection all the way to 100% energy provision (off-grid)): Some electricity will be generated by photovoltaic panels.
e. Public open space	
Will the site provide the opportunity to enhance the green network? (These are the linked areas of open space in settlements, which can be enhanced through amalgamating existing green networks or providing onsite green infrastructure) You can find the boundary of existing green networks in the settlement profiles in the LDP	Yes Please specify: It is proposed to create an open space area along the southern boundary of the site, providing the opportunity to enhance the existing green network adjacent to the Beltie Burn
Will the site meet the open space standards, as set out in Appendix 2 in the Aberdeenshire Parks and Open Spaces Strategy? https://www.aberdeenshire.gov.uk/media/6077/approvedpandospacesstrategy.pdf	Yes Please specify: Adequate open space provision is included within the proposal to meet the open space requirements of the Aberdeenshire Parks and Open Spaces Strategy.

<p>Will the site deliver any of the shortfalls identified in the Open Space Audit for specific settlements?</p> <p>https://www.aberdeenshire.gov.uk/communities-and-events/parks-and-open-spaces/open-space-strategy-audit/</p>	<p>Yes/No/Not applicable Please specify:</p> <p>With regard to Torphins, the Open Space Audit concludes – ‘<i>Torphins has a good range of open space, and the high levels of natural/semi natural areas are reflective of a rural village of its size</i>’. The proposed open space and landscaping will provide an opportunity to further enhance the rural setting of the settlement and provide useable public space for existing and new residents to enjoy.</p> <p>It is proposed to connect with existing path networks within the village. The applicant would like to consult with the Torphins Path Group as there may be an opportunity to tie in with some of their aspirations for improving the local walking and cycling routes around Torphins.</p>
f. Resource use	
<p>Will the site re-use existing structure(s) or recycle or recover existing on-site materials/resources?</p>	<p>There are no existing structures on site, however as discussed above, existing drystone wall will be retained and/ or material reused on site to create new boundary/ gateway features.</p>
<p>Will the site have a direct impact on the water environment and result in the need for watercourse crossings, large scale abstraction and/or culverting of a watercourse?</p>	<p>No</p>

15. Other potential constraints

Please identify whether the site is affected by any of the following potential constraints:

<p>Aberdeen Green Belt https://www.aberdeenshire.gov.uk/media/20555/appendix-3-boundaries-of-the-greenbelt.pdf</p>	No
<p>Carbon-rich soils and peatland http://www.snh.gov.uk/planning-and-development/advice-for-planners-and-developers/soils-and-development/cpp/</p>	No
<p>Coastal Zone https://www.aberdeenshire.gov.uk/media/20176/4-the-coastal-zone.pdf</p>	No
Contaminated land	No
Ground instability	No
<p>Hazardous site/HSE exclusion zone (You can find the boundary of these zones in Planning Advice 1/2017 Pipeline and Hazardous Development Consultation Zones at https://www.aberdeenshire.gov.uk/planning/plans-and-</p>	No

policies/planning-advice/ and advice at http://www.hse.gov.uk/landuseplanning/developers.htm)	
Minerals – safeguarded or area of search https://www.aberdeenshire.gov.uk/ldpmedia/6_Area_of_search_and_safeguard_for_minerals.pdf	No
Overhead lines or underground cables	No
Physical access into the site due to topography or geography	No
Prime agricultural land (grades 1, 2 and 3.1) on all or part of the site. http://map.environment.gov.scot/Soil_maps/?layer=6	No
‘Protected’ open space in the LDP (i.e. P sites) www.aberdeenshire.gov.uk/ldp and choose from Appendix 8a to 8f	No
Rights of way/core paths/recreation uses	No
Topography (e.g. steep slopes)	No
Other	No
If you have identified any of the potential constraints above, please use this space to identify how you will mitigate this in order to achieve a viable development:	

16. Proximity to facilities

How close is the site to a range of facilities? *Delete as appropriate	Local shops	400m
	Community facilities (e.g. school, public hall)	400m (to primary school, nursery and village hall)
	Sports facilities (e.g. playing fields)	400m
	Employment areas	400m
	Residential areas	400m
	Bus stop or bus route	400m
	Train station	> 1 km
	Other, e.g. dentist, pub (please specify)	400m – to pub, pharmacy, café

17. Community engagement

Has the local community been given the opportunity to influence/partake in the design and specification of the development proposal?	Not yet
	If yes, please specify the way it was carried out and how it influenced your proposals:
	<p>If not yet, please detail how you will do so in the future:</p> <p>Prior to any planning application being submitted for the site, a community engagement event will be held. This will provide the opportunity to hear the thoughts of existing residents of Torphins and, where applicable, inform the final proposal.</p>

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18. Residual value and deliverability

<p>Please confirm that you have considered the 'residual value' of your site and you are confident that the site is viable when infrastructure and all other costs, such as constraints and mitigation are taken into account.</p>	<p>I have considered the likely 'residual value' of the site, as described above, and fully expect the site to be viable:</p> <p>Please tick: <input checked="" type="checkbox"/></p>
<p>If you have any further information to help demonstrate the deliverability of your proposal, please provide details.</p> <p>It is considered that the proposed site is deliverable for a number of reasons. In brief –</p> <ul style="list-style-type: none"> • The site has no significant constraints. • The site is solely owned by [REDACTED], has no ransom issues and suitable access via the existing road network is possible. • AJC Homes have a track record of developing high quality homes in rural Aberdeenshire. • There are no capacity issues which could hinder development, i.e. education, water infrastructure, road network. • The scale of development proposed is appropriate for Torphins in terms of there being a realistic build rate. 	

19. Other information

<p>Please provide any other information that you would like us to consider in support of your proposed development (please include details of any up-to-date supporting studies that have been undertaken and attach copies e.g. Transport Appraisal, Flood Risk Assessment, Drainage Impact Assessment, Peat/Soil Survey, Habitat/Biodiversity Assessment etc.)</p> <p>Please find attached the following plans which provide further detail of our proposal –</p> <ul style="list-style-type: none"> • Existing Site Plan • Concept Plan • Illustrative Masterplan • Street Elevations • Perspective Views • Townscape Analysis • Concept Landscape Arrangement • Village Analysis
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Please tick to confirm your agreement to the following statement:

☒

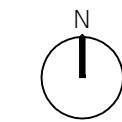
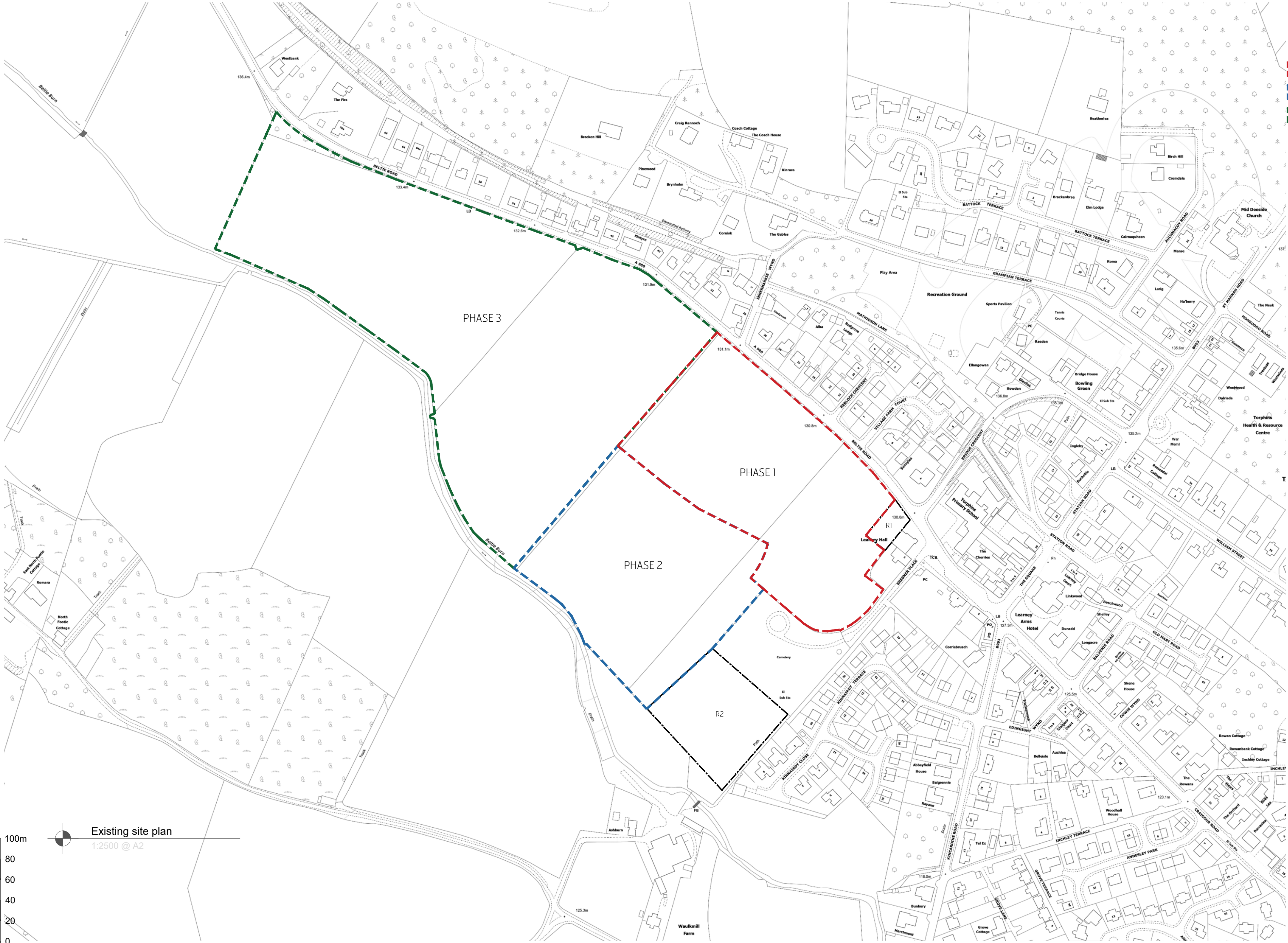
By completing this form I agree that Aberdeenshire Council can use the information provided in this form for the purposes of identifying possible land for allocation in the next Local Development Plan. I also agree that the information provided, other than contact details and

information that is deemed commercially sensitive (questions 1 to 3), can be made available to the public.

USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS MUST BE CHECKED ON SITE. ANY DISCREPANCIES MUST BE REPORTED BACK TO THE ARCHITECT. THIS DRAWING AND ANY DESIGNS INDICATED THEREON ARE THE COPYRIGHT OF BROOKS/MURRAY ARCHITECTS. ALL RIGHTS ARE RESERVED. NO PART OF THIS WORK MAY BE REPRODUCED WITHOUT PRIOR PERMISSION IN WRITING FROM BROOKS/MURRAY ARCHITECTS. PLANNING STAGE DRAWINGS SHOULD NOT BE USED FOR CONSTRUCTION.

REV.	AMENDMENT	BY:	DATE
A	Labels for Phases 1, 2 and 3 added		20.03.2018
B	Adjustments made to all boundaries		26.03.2018

- BID 1 AREA - 29 RESIDENTIAL UNITS**
[PHASE 1] - 38,048 m²
- BID 2 AREA - 21 RESIDENTIAL UNITS**
[PHASE 2] - 32,960 m²
- BID 3 AREA - UP TO 50 RESIDENTIAL UNITS**
[PHASE 3] - 87,770 m²



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CLIENT:
AJC HOMES

JOB:
TORPHINS

DRAWING TITLE:
EXISTING SITE PLAN

SCALE:
1:2500 @ A2

DATE:
MARCH 2018

STATUS:

DRAWING NUMBER: 1198 - 090 REV: B ISSUED BY:

DRAWING CODE
XXXX-BMA-XX-XX-DR-A-XXXXXX-00



① **Edge Park** - the proposed built form is set back from Beltie Road and a new edge park incorporates a walking route that links the western end of Torphins with the Village Hall. The existing dry stone wall along Beltie Road should be retained to improve the sense of enclosure.



② **Neighbourhood Park** - the existing undulating topography and orientation offer a unique opportunity to create a linear park within the development, where housing frontage can be provided. Opportunity to incorporate Sustainable Drainage Systems in the design.



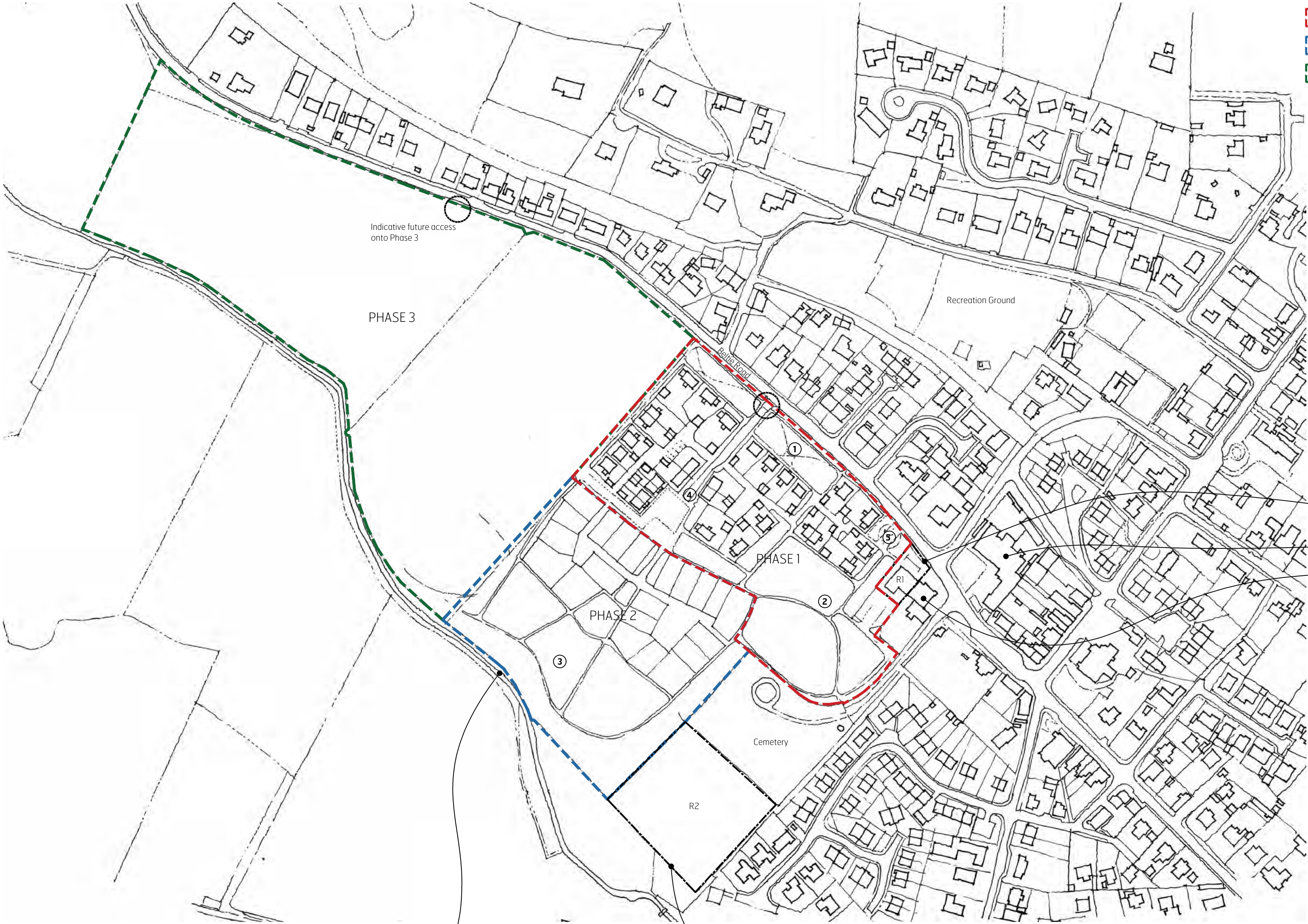
③ **Beltie Burn walking route** - landscaped areas and informal walking routes are proposed along the southern edge of the development, providing open views into the countryside.



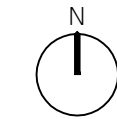
④ **Shared surfaces** - shared surfaces are generally a friendly environment where pedestrians take priority over cars; and are seen as a softer approach to vehicular access within new developments.



⑤ **Informal play area** - an informal play area is proposed adjacent to the area reserved for a village hall extension and in close proximity of the Primary School.



- BID 1 AREA - 29 RESIDENTIAL UNITS**
[PHASE 1] - 38,048 m²
- BID 2 AREA - 21 RESIDENTIAL UNITS**
[PHASE 2] - 32,960m²
- BID 3 AREA - UP TO 50 RESIDENTIAL UNITS**
[PHASE 3] - 87,770 m²



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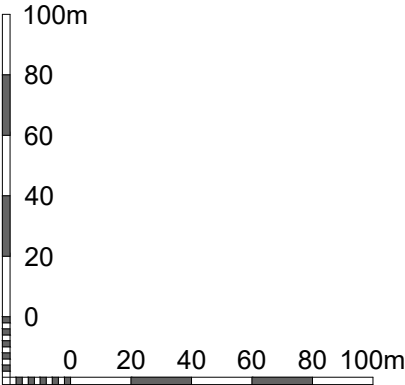
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CLIENT:
AJC HOMES
JOB:
TORPHINS

DRAWING TITLE:
CONCEPT PLAN

SCALE:
1:2500 @ A2
DATE:
MARCH 2018
STATUS:

DRAWING NUMBER: 1198 - 060
REV: D
ISSUED BY: [Signature]
DRAWING CODE
XXXX-BMA-XX-XX-DR-A-XXXXXX-00



Concept plan
1:2500 @ A2

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REV.	AMENDMENT	BY:	DATE
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A	Colour and various notes added to drawing		22.03.2018
B	Phase 1 boundary extended on western edge / updated annotation		26.03.2018
C	Updated trees as per landscape plan		28.03.2018

PHASE 1 - 38,048 m²
BID 1 AREA - 29 RESIDENTIAL UNITS

PHASE 1 RESIDENTIAL BREAKDOWN
To be read in conjunction with accommodation schedule

COTTAGE - 2B - 67.5 m² - **2 UNITS**
TYPE N - 3B - 100m² - **6 UNITS**
MORVEN - 3B - 110 m² - **4 UNITS**
CRAIGLICH - 3B - 110 m² - **3 UNITS**
CUBLEAN - 4B - 137 m² - **3 UNITS**
FOUDLAND - 4B - 160m² - **5 UNITS**
ARGYLL - 4B - 177 m² - **6 UNITS**

TOTAL - 29 UNITS

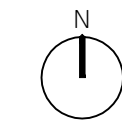
Of which, 25% (8 no.) affordable housing shown **in red** - plots 14, 15, 19, 20, 21, 22, 23 and 24

Civic space for the community - equipped play area in close proximity of the primary school.

R1 - area reserved for an extension to the public hall. Forecourt reserved for car parking

Area reserved for a future car park, associated to Learney Hall

Pedestrian access only




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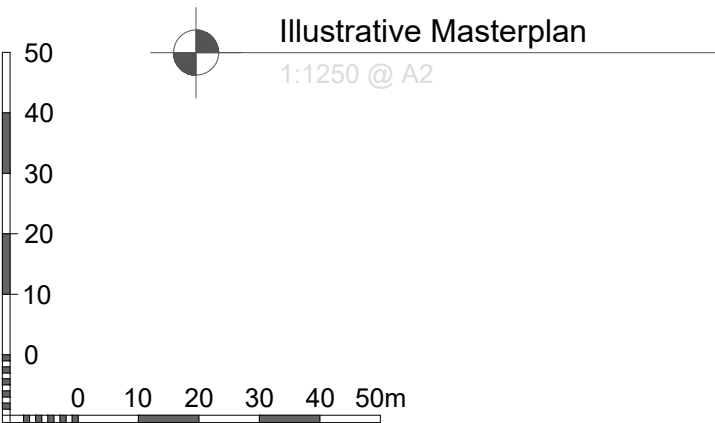
brooks murray

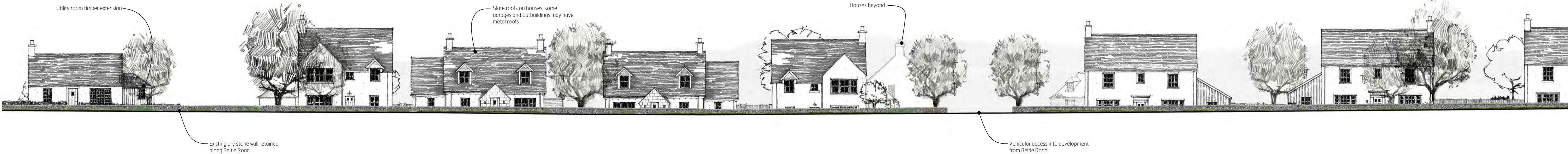
CLIENT:
AJC HOMES
JOB:
TORPHINS

DRAWING TITLE:
ILLUSTRATIVE PLAN

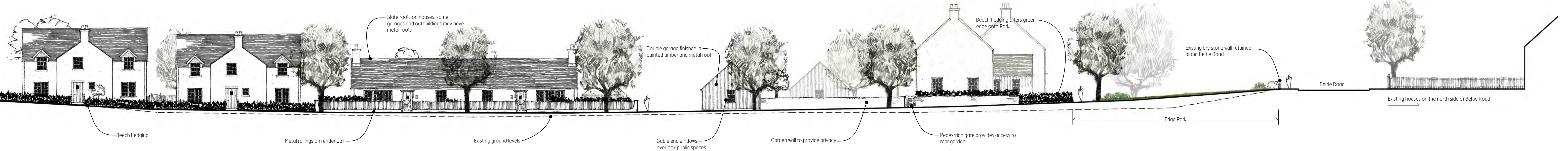
SCALE:
1:1250 @ A2
DATE:
MARCH 2018
STATUS:

DRAWING NUMBER: 1198 - 100
REV: C
ISSUED BY: 
DRAWING CODE
XXXX-BMA-XX-XX-DR-A-XXXXXX-00

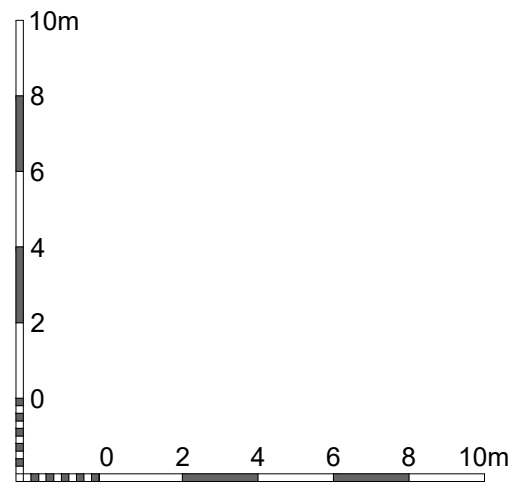




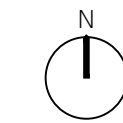
STREET ELEVATION 1
1:200 @ A1



STREET ELEVATION 2
1:200 @ A1



KEY PLAN
1:2000 @ A1



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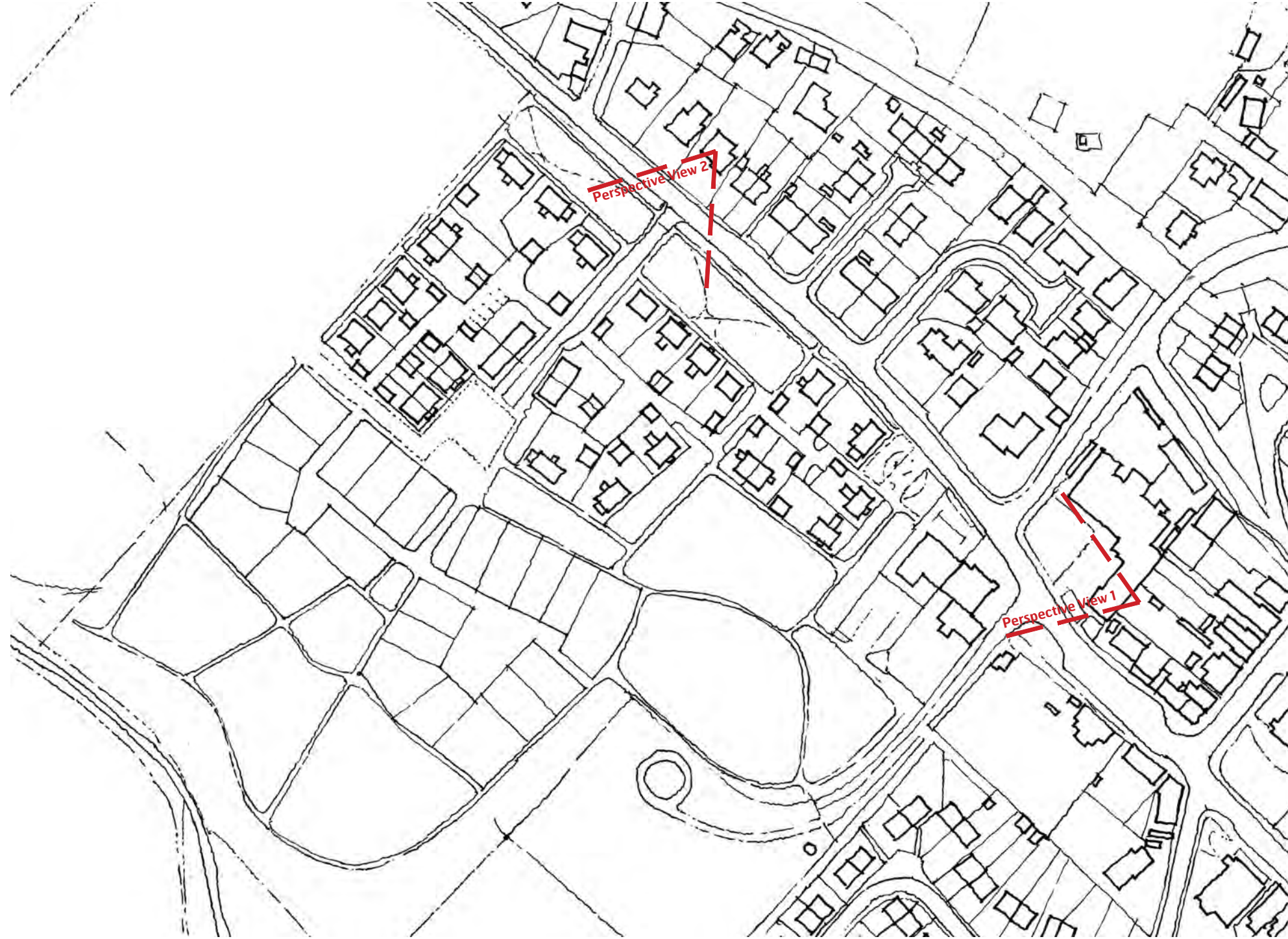
CLIENT:
AJC HOMES
JOB:
TORPHINS

DRAWING TITLE:
PROPOSED STREET ELEVATIONS
SCALE:
1:200 @ A1
DATE:
MARCH 2018
STATUS:

DRAWING NUMBER:
1198 - 200
REV:
ISSUED BY:
DRAWING CODE
XXXX-BMA-XX-XX-DR-A-XXXXXX-00



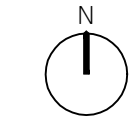
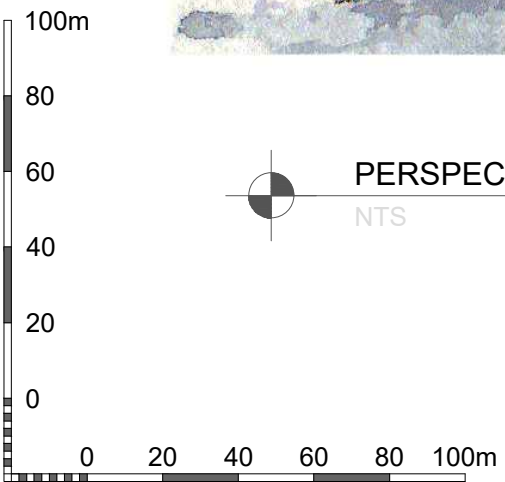
PERSPECTIVE VIEW 1
NTS



KEY PLAN
1:2000 @ A1



PERSPECTIVE VIEW 2
NTS



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CLIENT:
AJC HOMES
JOB:
TORPHINS

DRAWING TITLE:
PERSPECTIVE VIEWS 1 & 2

SCALE:
VARIES

DATE:
MARCH 2018
STATUS:

DRAWING NUMBER: 1198 - 900 REV: ISSUED BY:
DRAWING CODE: XXXX-BMA-XX-XX-DR-A-XXXXXX-00

TORPHINS



Secondary tree lined avenue would provide a visual screen and soft green edge to Phase 1 and 2 of the development and would ultimately provide a key link to the future Phase 3 of development

Village Green - Meeting point and orientation with key views out to the Beltie Burn

Properties on northern and western edge face outward to activate boundaries

Urban form extends to Beltie Road to support townscape character of village centre

Flexible Play and Community space



Buffer to the Beltie Burn and River Dee SAC allows for creation of an ecological walk

Green buffer to cemetery

SUDS

- KEY**
- Primary Access
 - Secondary Access (Homezone)
 - Tertiary Access (Footpaths)
 - Formal Parkland
 - Informal Soft Landscape/Wildflower
 - Wet Meadow
 - SUDS
 - Key Public Buildings
 - Flexible Community Space
 - Opportunities for Integrated Informal Play
 - Village Green
 - Parkland/Orchard Tree
 - Primary Avenue Tree
 - Secondary Avenue Tree
 - Structure Tree Planting



Formal Lime Avenue Primary Access



Integrated SUDS



Beltie Burn Informal Route



Village Green

Torphins - Concept Landscape Arrangement

March 2018

JOB ED12437 | REF L-4000 | REVB - ISSUE 28.03.18

wardell
armstrong

Village Analysis

Torphins, Aberdeenshire

1198 - Torphins

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1.0 Introduction

This assessment looks at the village of Torphin, 23 miles west of Aberdeen.

widths are quite generous, ranging from 2-3m across the village.

2.0 Background History

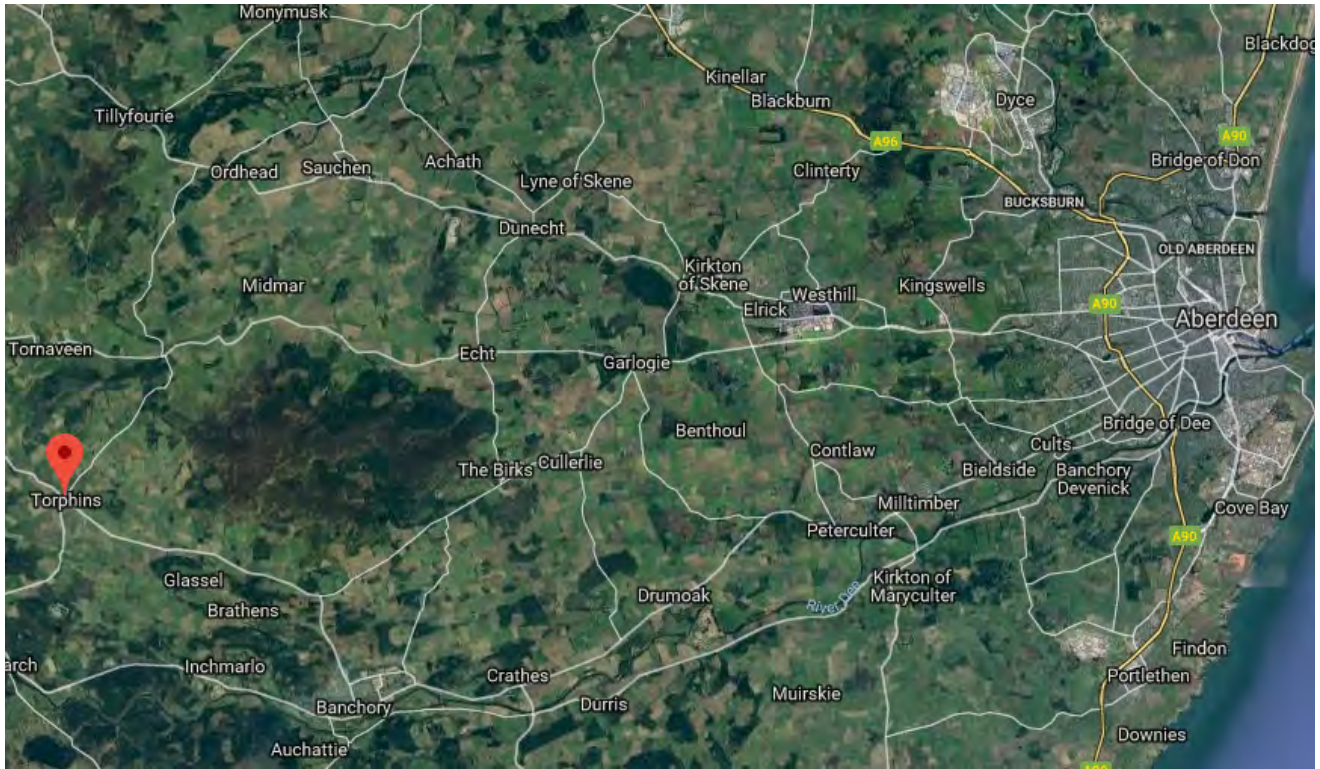
It is one of the larger villages in the area, with a population of 1500. The village has a primary school (with 250 pupils), a large park with play area, a car dealer, two tennis courts, a bowling green and a doctor's surgery. There is variety of shops including a charity shop, a funeral directors, a Chinese takeaway and a chemist. There is a Church of Scotland church, a Town Hall and a pub. There is a 9-hole golf course located about a mile outside of Torphins. There was a railway station in the village from 1853 to 1966.

3.0 Existing Buildings Description

The buildings are predominantly stone clad, with some render clad and some timber outbuildings. The average building has 1.5 storeys, dormer windows and a front porch. The feel of the village has been retained throughout later developments, typically with small cottage sized houses occupying small plots. Generally quite large set backs from the roads, which are quite narrow, also reinforce the village identity. Pavements



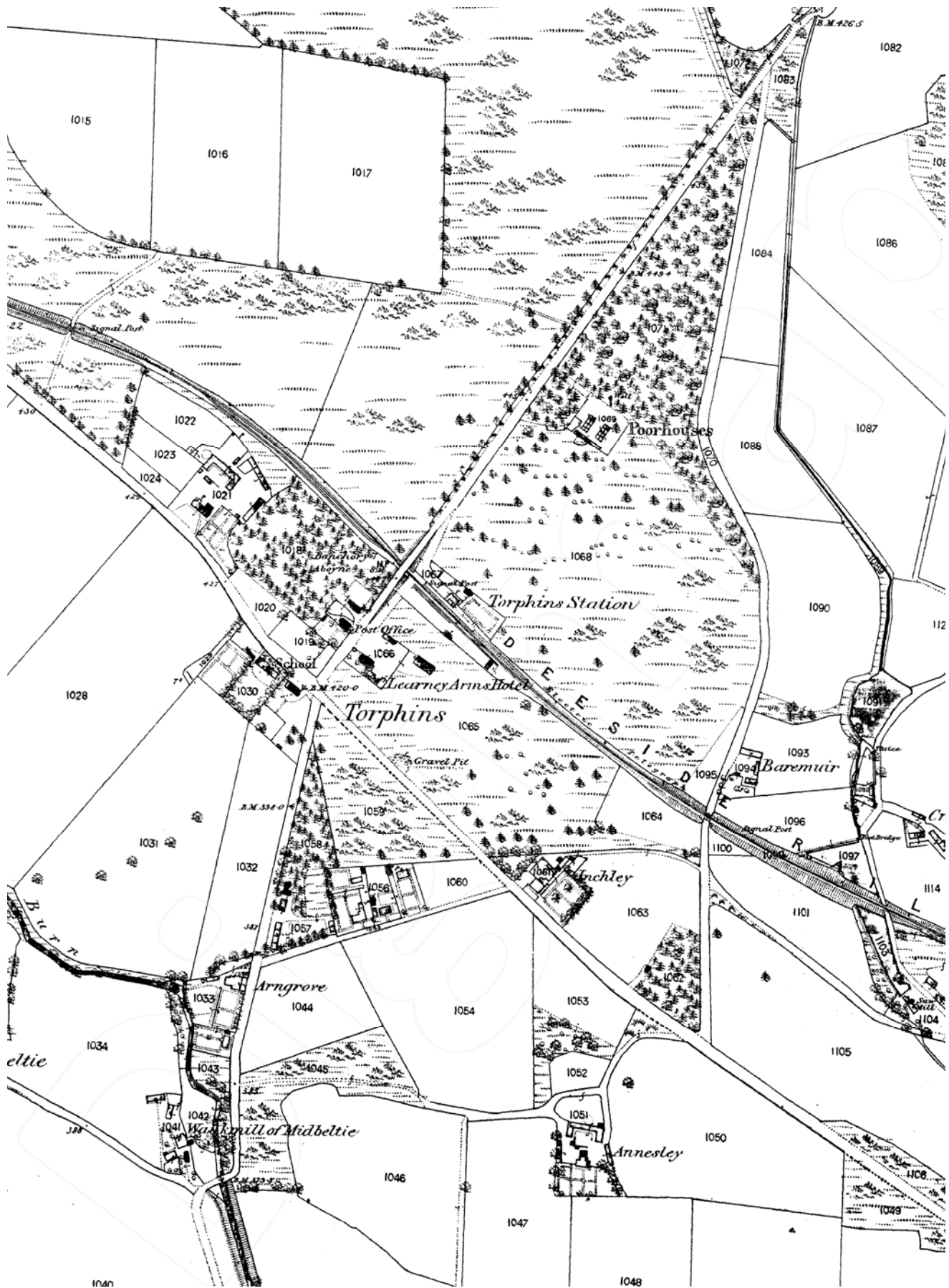
Typical building mix



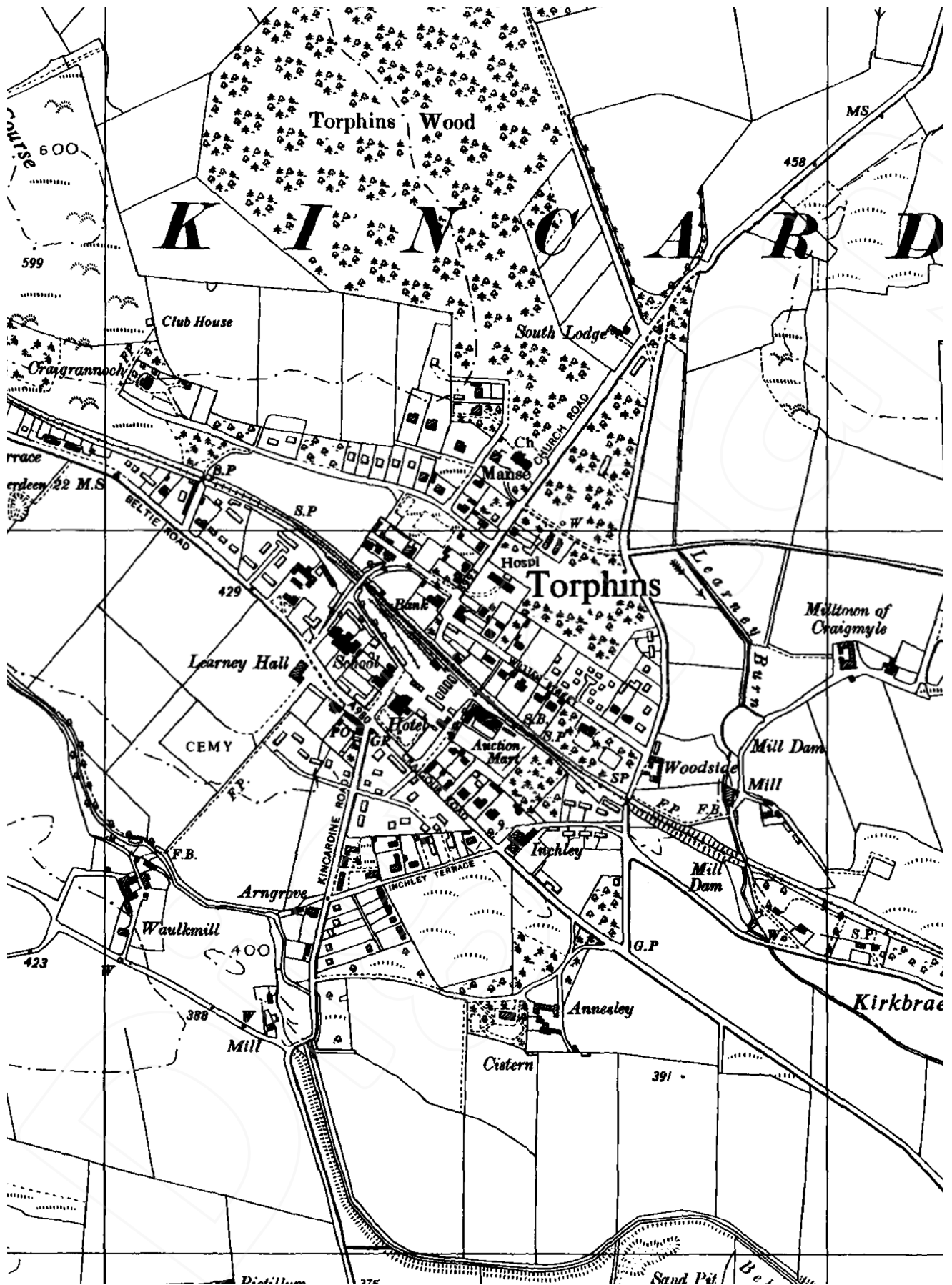
Village location



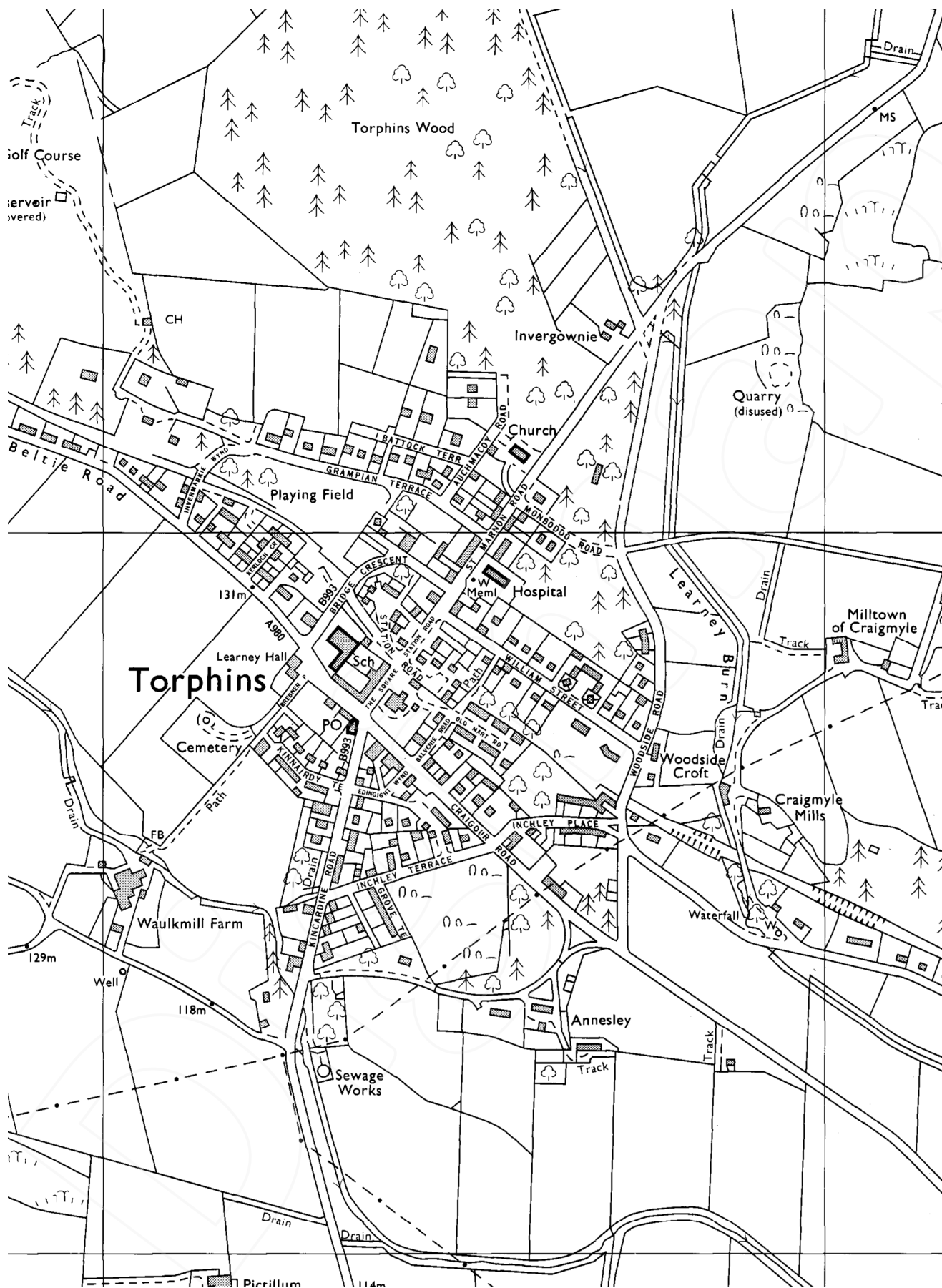
Aerial (2018)



Torphins (1860s)



Torphins (1950s)



Torphins (1980s)



Torphins (2010s)

Architectural Precedents



Village crossroads looking north (2011)



Undated historic image of the crossroads looking east



The same view in 2018



A two storey house with stone cladding, sash windows without glazing bars and a stone wall around the garden.



A single storey house with attached garage, tiled roof and render cladding.



The Learney Arms Hotel has white render walls, stone chimneys, sash windows with glazing bars and a slate roof.



A single storey house with stone cladding, slate roof and exposed rafter feet.



A 1.5 storey cottage with a half hipped roof, with a combination of stone and render with quoin detailing.



A 1.5 storey house with stone cladding, sash windows with glazing bars and gabled dormers.



A two storey semi-detached house with fully hipped roof, stone cladding and dormer windows.



A 1.5 storey cottage with stone cladding, front canopy and stone wall surrounding the garden.



A two storey double garage with room above, with a slate roof and a combination of stone and render cladding.



A 1.5 storey cottage with stone cladding, cat slide dormers and metal railings on an upstand boundary treatment.



A two storey house with stone cladding, fanlight and sidelights surrounding the front door and hipped dormers.



Torphins Primary School - A two storey building with stone cladding and sash windows.

Garden Boundary Enclosures



Boundary treatments are typically stone walls, sometimes with additional hedging or timber fencing.





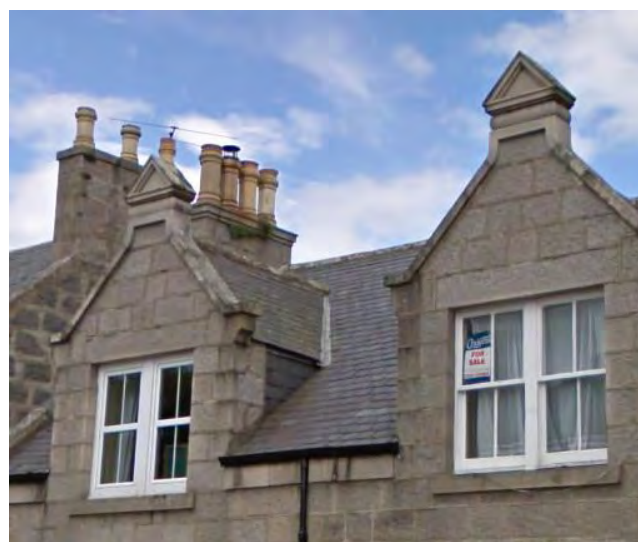
Metal railings on upstands are also used throughout Torphins.

Architectural Details



Some properties in the area have entrance canopies, which are usually extended across from the front of a bay window. Some canopies are extensions of the main roof.

Dormer windows are a popular element within Torphins, with a wide variety of detailing, sizes and styles.





Many properties in Torphins have either external single garages or space to park within their plot, A handful of properties have internal garages as part of the dwelling.



Chimneys are common throughout Torphins, often more than one chimney per property, with the size and detailing varying widely.





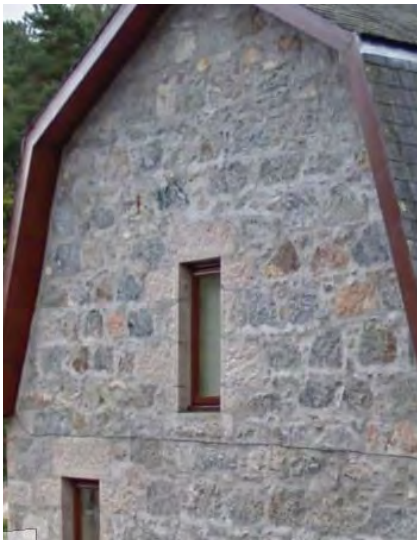
Doors are typically timber with glazing panels. Some properties have solid timber doors with fanlights and sidelights.



Windows are predominantly casement, however there are sash windows too. Few windows have glazing bars.



Materials Palette



Stone cladding - the most dominant material in Torphins



Render and timber cladding can also be found, but it is far less common than stone.



Hard landscaping - gravel driveway



Hard landscaping - stone driveway



Hard landscaping - tarmac driveway



Slate roofs are used commonly throughout Torphins.